

**Addendum #1**  
**June 10, 2024**

This Addendum modifies, amends, and supplements designated parts of the Contract Documents, Specifications and Drawings for:

**Westbrook Armory MOV/POV Compound Project, Westbrook, Maine - Project No. 23SR19-428-D**  
**Bid Number #24-047**

Directorate of Facilities Engineering

It shall be the responsibility of the Contractor to notify all Subcontractors and Suppliers for various portions of the work of any changes or modifications contained in this Addendum.

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**Specification Items:**

1. **Remove** Specification Section 00 41 13, Contractor Bid Form, and **Replace** with inserted Specification Section 00 41 13, Contractor Bid Form. Change is in Alternate Bid Item One for 2,252 SY, not 2,522 SY.
2. **Remove** Specification Section 01 00 00, Administrative Provisions pages 1 and 2, and **Replace** with inserted Specification Section 01 00 00, Administrative Provisions pages 1 and 2. Changes are in Item 1.01 A., 9" thick concrete pavement versus 8" and Section 1.01 H. change for Alternate Bid item #1 , 2,252 SY, not 2,522 SY.

**Drawing Items:**

1. **Remove** the following drawing sheets and **Replace** with inserted drawing sheets:
  - a. Sheet G-001, Cover Sheet
  - b. Sheet C-001, Civil Notes, Legend & Abbreviations
  - c. Sheet CD-101, Existing Conditions & Demolition Plan
  - d. Sheet C-101, Site Layout Plan
  - e. Sheet C-102, Site Utility Plan
  - f. Sheet C-103, Grading, Drainage & Erosion Control Plan
  - g. Sheet C-503, Construction Details
  - h. Sheet ES-101. Electrical Site Plan
2. Notes on Drawings:
  - a. G-001 - Identifies what sheets are part of this Addendum.
  - b. C-001 - Corrects error on AHJ for permitting for this project. Also removes note for expired Maine DOT moratorium for Stroudwater Street.
  - c. CD-101 - Shows the existing foundation drain not present in original drawing. Was initially part of this project but is now removed.
  - d. C-101 - Corrects discrepancy between this sheet and referenced detail from original bid documents regarding concrete thickness. Also eliminates EV charging station and shows an adjusted location for light poles. Light pole bases are 3" in diameter. Removed Keyed note for EV charging station.
  - e. C-102 - Eliminates foundation drain and cleanouts as well as the EV charging station.
  - f. C-103 - Eliminates 6" Perf HDPE . Also allows for emplacement of concrete and pads during Phase I provided it meets the conditions set forth in the the addendum note.

- g. C-503 - Removed the section with footing detail portion from the Typical Bollard Detail.
- f. ES-101 - Eliminates EV charging station and shows an adjusted location for light poles.

**Attachments:**

- 1. Pre-Bid attendee List
- 2. Clarification Items - CCE Answers to Questions
- 3. Section 00 41 13, Contractor Bid Form
- 4. Section 01 00 00, Administrative Provisions pages 1 and 2.
- 5. Sheets:
  - a. Sheet G-001, Cover Sheet
  - b. Sheet C-001, Civil Notes, Legend & Abbreviations
  - c. Sheet CD-101, Existing Conditions & Demolition Plan
  - d. Sheet C-101, Site Layout Plan
  - e. Sheet C-102, Site Utility Plan
  - f. Sheet C-103, Grading, Drainage & Erosion Control Plan
  - g. Sheet C-503, Construction Details
  - h. Sheet ES-101. Electrical Site Plan

## Pre Bid Attendance sheet

## WESTBROOK ARMORY MOV/POV COMPOUND PROJECT

Fill out Completely and Please Print Clearly

Project #23SC19-428-D

Bid #24-045

5/30/24 @ 10 am

*Incomplete or illegible information may exclude you from bidding*

Company name, Street Address & Mailing address	Attendee Name	Phone #	Fax #	E-mail
Shaw Brothers Construction PO Box 69 341 Masher Rd Gorham, ME 04038	Ben Trytek	207 839 2552		btrytek@shawbrothers.com bbrady@shawbrothers.com
GORHAM SAND & GRAVEL 939 PARKER FARM Rd Buxton, ME 04093	MIKE MCKINLEY	207-839-2442	207-839-5445	MIKEM@SSGRAVEL.COM
GANNESTON CONST. CORP. 3025 N. BELFAST AVE. AUGUSTA, ME 04330	Joe LAROSE	207-615-7534		JLAROSE@GANNESTON CONSTRUCTION.COM
E.S. Boulos 45 Bradley dr. Westbrook Maine 04092	Chris Bailey Matt Lyons	207-274-3060		Cbailey@Esboulos.com
MO HARRIS INC 310 North Howland Rd Howland Me. 04448	Mike Harris	207-732-5000		Harris CO@midmaine.com
WOODS Excavating LLC PO BOX 1282 Westbrook, ME 04098	Chris Woods	207-899-7093		gregg@woodsExcavating LLC 503
ANDY MILLS, BEN CHMARIK 34 THOMAS DRIVE WESTBROOK, ME	ANDY MILLS	518-366-4916		KRILE@BENCHMARK CONSTRUCTION.ORG
Sula Burbank RJ Grondin & Sons 11 Bartlett Rd, Gorham, ME 04038	Sula Burbank	207-854-1147		estimators@rjgrondin.com

Pre Bid Attendance sheet

WESTBROOK ARMORY MOV/POV COMPOUND PROJECT

Fill out Completely and Please Print Clearly

Project #235C19-428-D

Bid #24-045

5/30/24 @ 10 am

*Incomplete or illegible information may exclude you from bidding*

Company name, Street Address & Mailing address	Attendee Name	Phone #	Fax #	E-mail
Consigli 15 Franklin St Portland ME 04101	Mark Libby	207-712- 2680		mark.libby@riggs-co.com
Gendron : Gendron P.O. Box 1913 Lewiston, ME 04240	Josh White	207-330- 5890		josh@gendroncorp.com
Glidden Ex Paving 326 New Portland Rd Gorham, ME 04038	Matthew Callahan	207 856-9990		Matte@gliddenpaving.com
Aceto Earthworks 1023 Litchfield Rd. Sabattus ME 04290	Dan Aceto	207-577- 3305		Dan@AcetoEarthworks. com
Gordon Contracting 627 N. Dexter Rd Saugerville Me 04479	Tim Spenser	207-694- 0520		mike@ycmaine.com



## MEMORANDUM

**DATE: June 7, 2024**

**RE: Westbrook Armory – Paving Project Bid Questions**

1. Notice To Contractors spec section 00 11 13 mentions 847 SY concrete paving base bid and 3,099 Alternate 1 for a total of 2,252 SY. The BID FORM list Alternate 1 as 2,522 SY. **Alternate 1 is for 2,252 SY of concrete.**
2. Earthwork & concrete pavement specifies testing by the owner. Asphalt Paving specifies testing by GC. Is this correct or should all testing be by owner? **All testing for earthwork, concrete, and asphalt to be the responsibility of the GC.**
3. The Comms line highlighted in orange will either be installed with the current work being done, stubbed to outside the current work area, or will need to be installed and the new pavement getting placed on current project will have to be excavated and repaved. **The communications service was constructed as part of the Armory Renovation Project and is an existing condition.**
4. The storm drain / roof drains and associated cleanouts highlighted in green will either be installed with the current work being done, stubbed to outside the current work area, or will need to be installed and the new pavement getting placed on current project will have to be excavated and repaved. **The foundation /roof drain was constructed as part of the Armory Renovation Project and is no longer part of this project. It has been deleted from the plans.**
5. Is there frost walls or footings underneath the slab of the building to be demoed? If so, what is the design of the foundation to be demoed? **Assume 6” slab thickness to be demolished for the existing storage building.**
6. Administrative Provisions state contractor shall carry costs for all materials testing and inspections. Specifications in 312000-12 says owner will engage a geotechnical testing agency. Specifications in 321216-17 states the contractor will engage a testing agency. Specifications in 321313-18 are unclear as to who provides testing. Please clarify who provides testing for all materials. **All testing for earthwork, concrete, and asphalt to be the responsibility of the GC.**
7. Plan page C-101 note on tracked vehicle turning pad states an 8” thick concrete pad. Detail 1 on page C-505 shows a 9” sectional thickness. Please clarify sectional thickness for all concrete pads. **The tracked vehicle pad and fueling pad are 9” thick.**

8. Multiple plan sheets call to provide a wall mounted EV charging station, but there is no specification for this item. Can you please provide a specification or model to be provided? **The EV charging station will be removed from this project.**
9. Detail 7 page C-101 shows bollards with and without footings. Please clarify which, if any, bollards need to be integrated into footings. **All bollards are to have 18" diameter cast in place footings as shown in detail 7 on Sheet C-503. None of the bollards are to be integrated into the footings.**
10. The same detail also shows 8" and 6" bollards. Please clarify the bollard pipe diameter. **All bollards are 6" galvanized steel schedule 40 filled with concrete.**
11. Light pole bases on drawing C-101 says 2' diameter; detail D-3 on drawing C503 says 3' diameter. **All light pole bases are 3' in diameter. Please note that the locations of two light poles on the east side of the site have been moved off the pavement.**
12. Are steel bollards with precast bases an acceptable alternate? **No, all bollard foundations must be cast in place.**

**00 41 13  
Contractor Bid Form**

**Westbrook Armory MOV/POVCompound Project**

BGS PN# 3310

Bid Form submitted by: *paper documents only to address below*

Bid Administrator:

*Ms. Sara Thompson*  
Directorate of Facilities Engineering  
Bldg. 7, Camp Keyes  
194 Winthrop Street  
Augusta, Maine 04330

BGS.Architect@Maine.gov

Bidder:

Signature: \_\_\_\_\_

Printed name and title: \_\_\_\_\_

Company name: \_\_\_\_\_

Mailing address: \_\_\_\_\_

City, state, zip code: \_\_\_\_\_

Phone number: \_\_\_\_\_

Email address: \_\_\_\_\_

State of incorporation, if a corporation: \_\_\_\_\_

List of all partners, if a partnership: \_\_\_\_\_

The Bidder agrees, if the Owner offers to award the contract, to provide any and all bonds and certificates of insurance, as well as Schedule of Values, Project Schedule, and List of Subcontractors and Suppliers if required by the Owner, and to sign the designated Construction Contract within twelve calendar days after the date of notification of such acceptance, except if the twelfth day falls on a State of Maine government holiday or other closure day, or a Saturday, or a Sunday, in which case the aforementioned documents must be received before 12:00 noon on the first available business day following the holiday, other closure day, Saturday, or Sunday.

As a guarantee thereof, the Bidder submits, together with this bid, a bid bond or other acceptable instrument as and if required by the Bid Documents.

**00 41 13  
Contractor Bid Form**

1. The Bidder, having carefully examined the *Westbrook Armory MOV/Compound Project* Project Manual dated 24 May 2024, prepared by Colby Company Engineering, as well as Specifications, Drawings, and any Addenda, the form of contract, and the premises and conditions relating to the work, proposes to furnish all labor, equipment and materials necessary for and reasonably incidental to the construction and completion of this project for the **Base Bid** amount of:

\$ \_\_\_\_\_ .00

2. Allowances *are not included* on this project.  
<Bid Administrator to select...>  
*insert brief name of Allowance*

\$ 0.00

3. Alternate Bids *are included* on this project.  
<Bid Administrator to select...>

Any dollar amount line below that is left blank by the Bidder shall be read as a bid of **\$0.00**.

1 *Additional Concrete Paving 2,252 SY* \$ \_\_\_\_\_ .00

2 *"not used"* \$ \_\_\_\_\_ .00

3 *"not used"* \$ \_\_\_\_\_ .00

4 *"not used"* \$ \_\_\_\_\_ .00

4. Bid security *is required* on this project.

If noted above as required, or if the Base Bid amount exceeds \$125,000.00, the Bidder shall include with this bid form a satisfactory Bid Bond (section 00 43 13) or a certified or cashier's check for 5% of the bid amount with this completed bid form submitted to the Owner.

5. Filed Sub-bids *are not required* on this project.

If noted above as required, the Bidder shall include with this bid form a list of each Filed Sub-bidder selected by the Bidder on the form provided (section 00 41 13F).



## SECTION 01 00 00

### ADMINISTRATIVE PROVISIONS

#### PART 1 GENERAL

##### 1.01 CONTRACT REQUIREMENTS

###### A. Scope of Work

Project consists of the renovation and paving of approximately 7,488 SY of Organizational and Non-Organizational parking at the Westbrook Armory located at 120 Stroudwater Street, Westbrook, Maine. This includes approximately 847 SY of 9" thick concrete pavement with an Alternate Bid Item expanding the 9" concrete pavement to a total of 3,099 SY. Project requirements also the removal of approximately 7660 CY of existing gravel parking; emplacement of 223 SY of concrete pads and aprons, 226 LF of concrete curb; the demolition of the obsolete metal storage building (1,800 sf) and slab, the replacement of existing fencing and gates, installation of stormwater drainage, and exterior lighting. Project will be executed in two phases with the earthwork phase completed by 1 October 2024 and the paving phase later than 31 July 2025.

###### B. Contract Method

1. Basis of award of this Contract will be in accordance with Section 1 Instructions to Bidder, Paragraph 2.
2. Contract type: State of Maine – Bureau of General Services, Construction Contract, Section 00 52 13.
3. The project will be constructed under a single lump sum contract.

###### C. Work Sequence

1. Work of the Contract and related provisions are as described in the Contract Documents. Work will be performed with considerations given to individual unit requirements. Minus any scheduling guidance from the units the contractor is free to work on these spaces in the order that best meets their means and methods with one exception.

###### D. Contractor Use of Premises

1. Work of this Contract includes coordinating the work with the daily operations of the Owner.
2. Limit use of premises for Work and construction operations only, allow for Owner occupancy, work by other Contractors, and public access.
3. Federal Holiday Schedule. **The Contractor may not work on Federal Holidays.**

4. Limit access to Owner's site, hours of operations are M-F, 7:00 A.M. - 4:00 P.M.
5. The Contractor must work with each organization to gain access to certain area through-out the building. When the Contractor needs to gain access to certain areas, he must notify each organization seven working days in advance.
6. Coordinate use of premises under direction of Owner.
7. The Contractor shall be responsible for his/her security in Construction Area until substantial completion. The contractor shall coordinate security of Building with Owner.
8. Winter Conditions: Contractor is required to provide access to their work site and ensure that snow removal operations do not impede the operations of the unit.

E. Owner Occupancy

1. Owner will occupy surrounding areas during entire period of construction, to conduct Owner's normal operations. The Contractor shall cooperate with Owner to minimize conflict to the Owner's operations.

F. Owner-furnished Products: Not Used

G. Schedule of Allowances: Not Used

H. Alternate Bids: ABI# Additional Concrete Paving 2,252 SY

I. Unit Prices: Not Used

J. Applications for Payment:

1. Submit One (1) copy of each application under procedures of 00 72 13 Section 31, on B.G.S. Form "Application for Payment, 00 62 76 and 00 62 76.01", revised 12 May 2023.

K. Coordination:

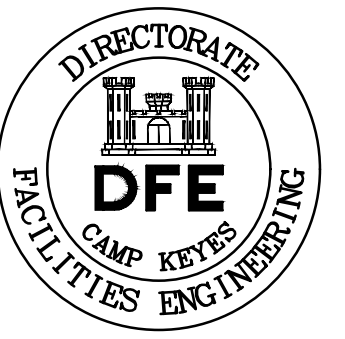
1. Work of this Contract includes coordination of the entire Work of the Project.
2. Coordinate work with all utilities. Interruption of services shall be coordinated with an appropriate official at the facility to minimize the disruption of operations within the facility. Owner requires 72 hours notice prior to any utility shutdown.
3. Coordinate the work of equipment and material suppliers and subcontractors.

# MAINE ARMY NATIONAL GUARD

## MOV AND POV COMPOUND PROJECT

### WESTBROOK, MAINE

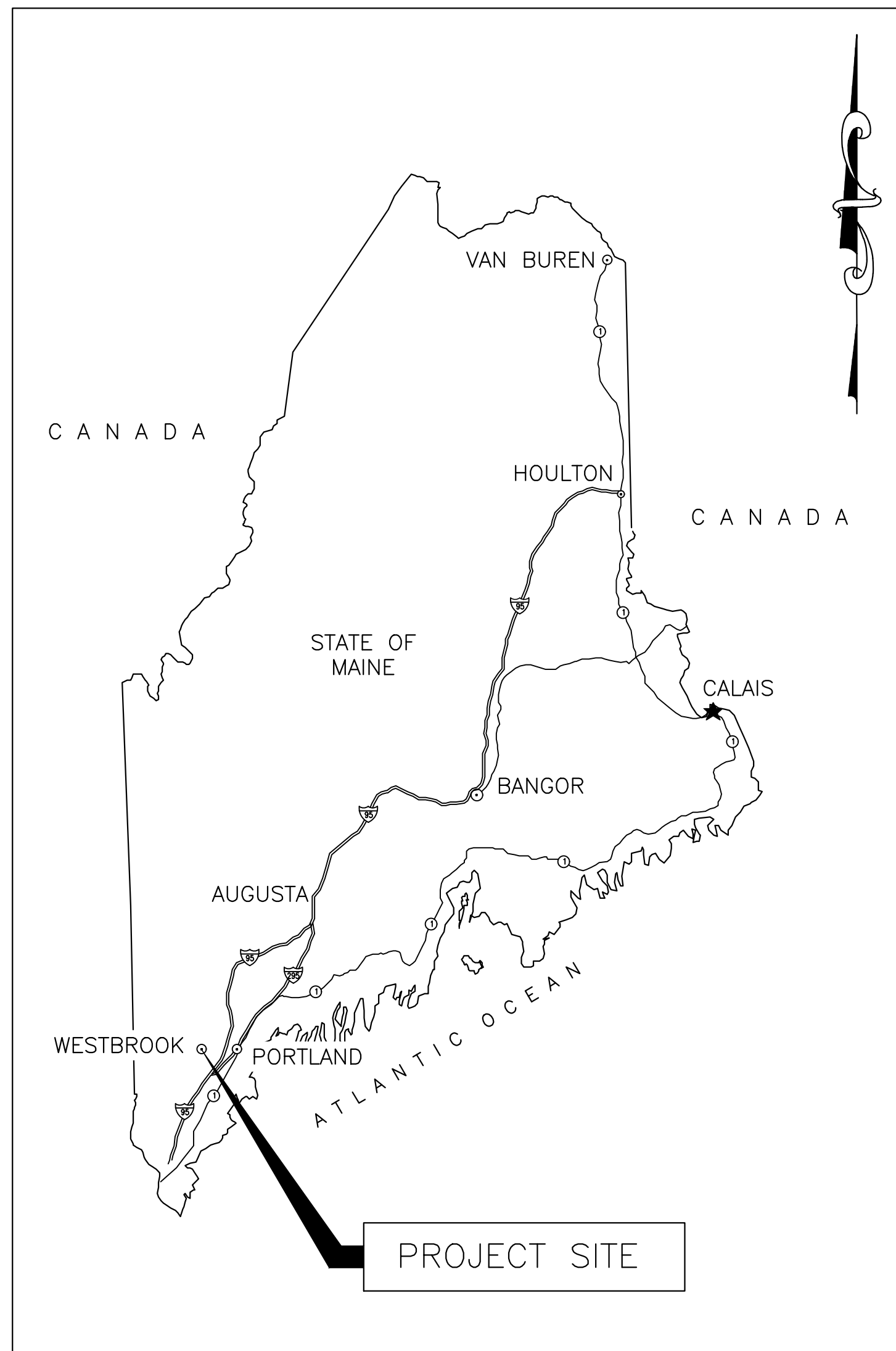
DIRECTORATE OF FACILITIES ENGINEERING  
 Camp Keyes, Augusta, Maine  
 BGS Project No. 3310  
 DFE Project No. 23SR19-428D



PLAN REVISIONS			
Rev#	Description	Date	Appr.
1	ADDENDUM #1	06/07/24	RLC
0	ISSUED FOR BIDDING	05/24/24	RLC

DESIGNED BY: LDA	DRAWN BY: DSE	CHECKED BY: HLS	DATE: 05/24/2024
SCALE: AS NOTED	DFE PROJECT NO: 23SR19-428-D		

STATE OF MAINE  
 DEPARTMENT OF DEFENSE, VETERANS  
 AND EMERGENCY MANAGEMENT  
 COLBY COMPANY ENGINEERING  
 CCE JOB #144,057,002  
 47A YORK STREET  
 PORTLAND, MAINE  
 207.553.7753



VICINITY MAP  
 SCALE: NTS

## ISSUED FOR BIDDING

MAY 24, 2024

DRAWING INDEX		
DRAWING	TITLE	SHEET NUMBER
G-001	COVER SHEET	1
C-001	CIVIL NOTES, LEGEND, & ABBREVIATIONS	2
CD-101	EXISTING CONDITIONS & DEMOLITION PLAN	3
C-101	SITE LAYOUT PLAN	4
C-102	SITE UTILITY PLAN	5
C-103	GRADING, DRAINAGE, & EROSION CONTROL PLAN	6
C-501	EROSION AND SEDIMENTATION CONTROL NOTES	7
C-502	EROSION AND SEDIMENTATION CONTROL DETAILS	8
C-503	CONSTRUCTION DETAILS	9
C-504	UTILITY DETAILS	10
C-505	FENCE AND GATE DETAILS	11
C-506	CONCRETE DETAILS	12
A-001	GENERAL ARCHITECTURAL NOTES, SYMBOLS AND ABBREVIATIONS	13
AD-101	EXISTING PLANS	14
AD-201	EXISTING ELEVATIONS	15
A-901	EXISTING CONDITIONS IMAGES	16
ES-101	ELECTRICAL SITE LAYOUT PLAN	17



LOCATION MAP  
 SCALE: NTS

WESTBROOK ARMOY  
 WESTBROOK, MAINE  
 MOV AND POV COMPOUND PROJECT  
 COVER SHEET

PLAN PROGRESS	
<input type="checkbox"/>	DRAFT
<input type="checkbox"/>	35% REVIEW
<input type="checkbox"/>	50% REVIEW
<input type="checkbox"/>	90% REVIEW
<input type="checkbox"/>	FINAL REVIEW
<input checked="" type="checkbox"/>	FOR BIDDING
<input type="checkbox"/>	ISSUED FOR CONSTRUCTION
<input type="checkbox"/>	RECORD DRAWINGS

SHEET ID:  
 G-001  
 SHEET: 1 OF 17

**GENERAL NOTES**

1. THE CONTRACTOR MUST BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE CONTRACTOR MUST TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP RECORD DRAWINGS FOR ALL PROPOSED UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS.
2. THE PROJECT MANAGER MUST BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK MUST NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED WRITTEN APPROVAL FROM THE PROJECT MANAGER.
3. THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
4. THE CONTRACTOR MUST RESTORE LAWNS, DRIVEWAYS, CULVERTS, SIGNS AND OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO PRE-CONSTRUCTION CONDITION DETERMINED BY THE PROJECT MANAGER AT THE CONTRACTOR'S EXPENSE. ANY DAMAGED TREES, SHRUBS AND/OR HEDGES MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR MUST BE RESPONSIBLE FOR OBTAINING, AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES.
6. THE CONTRACTOR MUST COMPLY WITH ALL REQUIRED PERMITS.
7. THE CONTRACTOR MUST PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A MAINE STATE LICENSED LAND SURVEYOR.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS, AND COORDINATE WORK WITH ALL CONTRACTS FOR THE SITE.
9. THE CONTRACTOR MUST BE RESPONSIBLE TO CONDUCT EXPLORATORY TEST PITS AS MAY BE REQUIRED TO DETERMINE UNDERGROUND CONDITIONS.
10. ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING MUST BE DONE IN ACCORDANCE WITH THE LATEST O.S.H.A. REGULATIONS FOR CONSTRUCTION.
11. THE CONTRACTOR MUST BE RESPONSIBLE FOR THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK.
12. THE CONTRACTOR MUST GRADE ALL AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE.
13. THE CONTRACTOR MUST PROVIDE A DETAILED SCHEDULE OF WORK TO THE PROJECT MANAGER. OWNER MUST HAVE ACCESS TO THE OTHER BUILDINGS ON SITE AND FENCE IN PARKING AREA.
14. THE CONTRACTOR MUST BE RESPONSIBLE FOR SNOW REMOVAL AND KEEPING ALL MEANS OF EGRESS CLEARED FOR THE DURATION OF THE PROJECT.
15. CONTRACTOR MUST ADHERE TO ALL REGULATIONS REQUIRED BY THE MAINE DEPARTMENT OF LABOR.
16. PROJECT BENCHMARK IS THE TOP OF EXISTING HYDRANT ON STROUDWATER STREET. SEE DRAWING C-101.
17. CONTRACTOR MUST HIRE A UTILITY LOCATING CONTRACTOR TO LOCATE UNDERGROUND UTILITIES AND PROVIDE MARKED DRAWINGS THAT INDICATE ANY EXISTING CONDITION THAT VARY FROM THOSE SHOWN IN THE CONTRACT DOCUMENTS PRIOR TO START OF EXCAVATION.
- 18.

**APPLICABLE CODES AND STANDARDS**

1. MAINE DOT STANDARD SPECIFICATIONS AND DETAILS, NOVEMBER 5, 2014 UPDATE
2. UFC 4-010-01 DOD MINIMUM ANTITERRORISM STANDARDS FOR BUILDINGS
3. UFC 3-201-01 CIVIL ENGINEERING WITH CHANGE 5
4. UFC 3-240-01 WASTEWATER COLLECTION WITH CHANGE 2
5. UFC 3-600-01 FIRE PROTECTION ENGINEERING FOR FACILITIES
6. PORTLAND WATER DISTRICT POLICIES, SPECIFICATIONS, AND DETAILS FOR WATER LINE INSTALLATION.

**CONSTRUCTION NOTES**

1. THE CONTRACTOR MUST COORDINATE MATERIAL STORAGE AND LAYDOWN AREAS WITH THE OWNER. PARKING FOR CONTRACTOR EMPLOYEES WITHIN THE PROJECT SITE OR NATIONAL GUARD'S PARKING LOT WILL BE PERMITTED WITH THE APPROVAL FROM PROJECT MANAGER.
2. THE CONTRACTOR MUST BE RESPONSIBLE FOR MAINTAINING TRAFFIC FLOW DURING CONSTRUCTION MAINTAINING EXISTING TRAFFIC CONTROL SIGNAGE AND INFORMATIONAL SIGNS DURING PROGRESS OF THE WORK WHERE POSSIBLE. PROVIDE ADDITIONAL SIGNAGE AS NECESSARY TO DIRECT VEHICLES AND PEDESTRIANS AROUND CONSTRUCTION SITE.
3. ALL CONSTRUCTION MATERIALS MUST BE TRANSPORTED TO AND FROM THE SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
4. THE CONTRACTOR MUST BE RESPONSIBLE FOR MAINTAINING THEIR SECURITY AT ALL TIMES DURING CONSTRUCTION.
5. THE CONTRACTOR MUST COMPLY WITH ALL APPLICABLE O.S.H.A. REGULATIONS AND SAFETY REQUIREMENTS.
6. THE CONTRACTOR MUST PROVIDE QUALIFIED PERSONNEL ON SITE CAPABLE OF PROVIDING HORIZONTAL AND VERTICAL CONTROL.
7. ALL SURPLUS MATERIAL, AS DETERMINED BY THE OWNER, MUST BECOME THE PROPERTY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF OWNER'S PROPERTY.
8. ALL UTILITY PIPES AND STRUCTURES REMOVED AS PART OF THE CONSTRUCTION MUST BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GOVERNMENT REGULATIONS AT THE CONTRACTOR'S EXPENSE. SEE ADMINISTRATIVE SECTION 010000 - WASTE SLIPS.
9. ALL CONSTRUCTION SIGNS MUST BE DESIGNED TO WITHSTAND 50MPH VELOCITY WINDS AND BE PREPARED BY A PROFESSIONAL SIGN COMPANY.
10. THE EXPOSED SOIL SURFACE MUST BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
11. THE CONTRACTOR MUST BE RESPONSIBLE TO MAKE THE SITE SAFE FOR USERS DURING NON-WORKING HOURS. PARKING AREA MUST BE AVAILABLE FOR USERS.
12. ALL TRAFFIC CONTROL WORK SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (MUTCD), 2009 EDITION AND ALL SUBSEQUENT REVISIONS, AS WELL AS MAINEDOT STANDARD SPECIFICATIONS AND DETAILS, NOVEMBER 5, 2014 UPDATE.

**UTILITY NOTES**

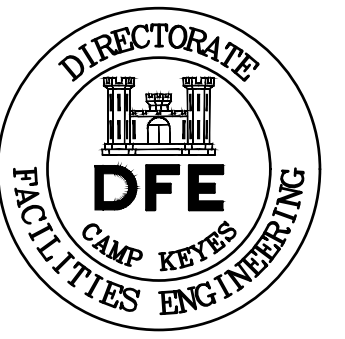
1. EXISTING UTILITIES SHOWN ON THE PROJECT DRAWINGS ARE LOCATED APPROXIMATELY AND MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. UTILITY LOCATIONS ARE BASED ON PHYSICAL LOCATIONS AND DRAWINGS PROVIDED BY THE OWNER. THE CONTRACTOR MUST FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR MUST BE RESPONSIBLE FOR THE REPAIRS OF ALL DISTURBED UTILITIES DURING CONSTRUCTION AT NO COST TO OWNER.
2. THE CONTRACTOR MUST ARRANGE FOR AND MAINTAIN TEMPORARY UTILITY CONNECTIONS THAT MAY BE REQUIRED DURING CONSTRUCTION.
3. EXISTING UTILITIES TO REMAIN IN OPERATION MUST BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE TO EXISTING UTILITIES TO REMAIN MUST BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
4. THE CONTRACTOR IS RESPONSIBLE FOR CALLING DIG-SAFE 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING PRIVATELY OWNED UTILITIES ON SITE. COST FOR LOCATING UTILITIES WITHIN THE PROJECT AREA IS THE CONTRACTOR'S RESPONSIBILITY.
5. WHERE CONTRACTOR ENCOUNTERS EXISTING PIPES AND CONDUIT NOT REQUIRED TO REMAIN ACTIVE WITHIN THE LIMIT OF EXCAVATION FOR THE WORK OF THE PROJECT, CONTRACTOR MUST REMOVE THE PIPES AND CONDUIT, WITHIN THOSE LIMITS OF EXCAVATION, AND PLUG THE ENDS. CONTRACTOR MUST PLUG AND ABANDON THE REMAINING PORTIONS IN PLACE AT NO COST TO THE OWNER.
6. CONTRACTOR MUST RE-ROUTE OR OTHERWISE MAINTAIN EXISTING PIPES AND CONDUITS WITHIN THE LIMITS OF EXCAVATION, REQUIRED TO REMAIN ACTIVE.
7. CONTRACTOR MUST PROVIDE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES ENCOUNTERED OR ABANDONED ON RECORD DRAWINGS AT THE COMPLETION OF WORK.
8. CONTRACTOR MUST NOTIFY AND OBTAIN APPROVAL FROM THE PROJECT MANAGER 72 HOURS PRIOR TO DISCONNECTING ANY UTILITY REQUIRED AS PART OF THIS PROJECT.

**ABBREVIATIONS**

@	AT
ABAND	ABANDONED
ACP	ASBESTOS CEMENT PIPE
ADA	AMERICANS WITH DISABILITIES ACT
APPROX	APPROXIMATELY
BIT	BITUMINOUS
CB	CATCH BASIN
COMM	COMMUNICATION
CONC	CONCRETE
COND	CONDUIT
CPP	CORRUGATED PLASTIC PIPE
CSTP	COPPER SIZED TUBING PLASTIC
CTRL	CONTROL
Ø, DIA	DIAMETER
DMH	DRAIN MANHOLE
DOT	DEPARTMENT OF TRANSPORTATION
DWG	DRAWING
DWGS	DRAWINGS
EL	ELEVATION
ELEC	ELECTRIC
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
EQUIP	EQUIPMENT
EXIST	EXISTING
EW	EACH WAY
FF	FINISH FLOOR
FFE	FINISH FLOOR ELEVATION
GALV	GALVANIZED
IN	INCHES
INV	INVERT
LF	LINEAR FEET
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MOV	MILITARY OWNED VEHICLE
N.E.T.	NEW ENGLAND TELEPHONE
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OH	OVERHEAD
OHE	OVERHEAD ELECTRIC
O.S.H.A.	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
OU	OVERHEAD UTILITIES
POV	PERSONAL OWNED VEHICLE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
PWD	PORTLAND WATER DISTRICT
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
SDR	STANDARD DIMENSION RATIO
SF	SQUARE FEET
SMH	SANITARY SEWER MANHOLE
SQ	SQUARE
SS	SANITARY SEWER
T.O.C.	TOP OF CONCRETE
TVVD	TELEPHONE VIDEO VOICE AND DATA
TYP	TYPICAL
UG	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
VCP	VITRIFIED CLAY PIPE
VIF	VERIFY IN FIELD
W/	WITH
W	WATER
WV	WATER VALVE

**LEGEND**

EXISTING		PROPOSED
		IRON REBAR FOUND
		PROPERTY BOUNDARY
		LIMIT OF WORK
		BUILDING
		CONTOUR
		FENCING
		WATER VALVE
		FIRE HYDRANT
		SEWER MANHOLE
		CATCH BASIN
		DRAIN MANHOLE
		UTILITY POLE
		LIGHT POLE
		OVERHEAD ELECTRIC
		UNDERGROUND ELECTRIC
		WATER LINE
		UNDERGROUND GAS LINE
		STORM DRAIN LINE
		CULVERT
		SANITARY SEWER LINE
		SEDIMENT BARRIER
		CONCRETE
		GRASS
		GRAVEL
		RIPRAP
		PAVEMENT - MOV
		PAVEMENT - POV



PLAN REVISIONS		Date
1	ADDENDUM #1	06/07/24
0	ISSUED FOR BIDDING	05/24/24
	Description	Appr.

DESIGNED BY: LDA	DRAWN BY: DSE	CHECKED BY: HLS	DATE: 05/24/2024
		SCALE: AS NOTED	DPE PROJECT NO: 23SR19-428-D

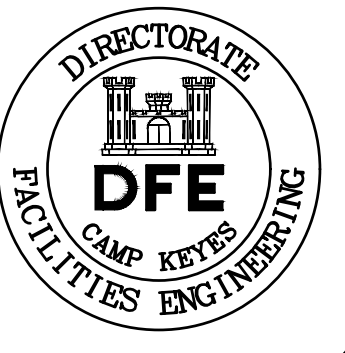
**STATE OF MAINE**  
**DEPARTMENT OF DEFENSE, VETERANS**  
**AND EMERGENCY MANAGEMENT**  
 COLBY COMPANY ENGINEERING  
 47A YORK STREET  
 PORTLAND, MAINE  
 207.553.7753

WESTBROOK ARMORY  
 WESTBROOK, MAINE  
 MOV AND POV COMPOUND PROJECT  
 CIVIL NOTES, LEGEND, &  
 ABBREVIATIONS

PLAN PROGRESS
<input type="checkbox"/> DRAFT
<input type="checkbox"/> 35% REVIEW
<input type="checkbox"/> 50% REVIEW
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<input type="checkbox"/> RECORD DRAWINGS



SHEET ID:  
 C-001  
 SHEET: 2 of 17



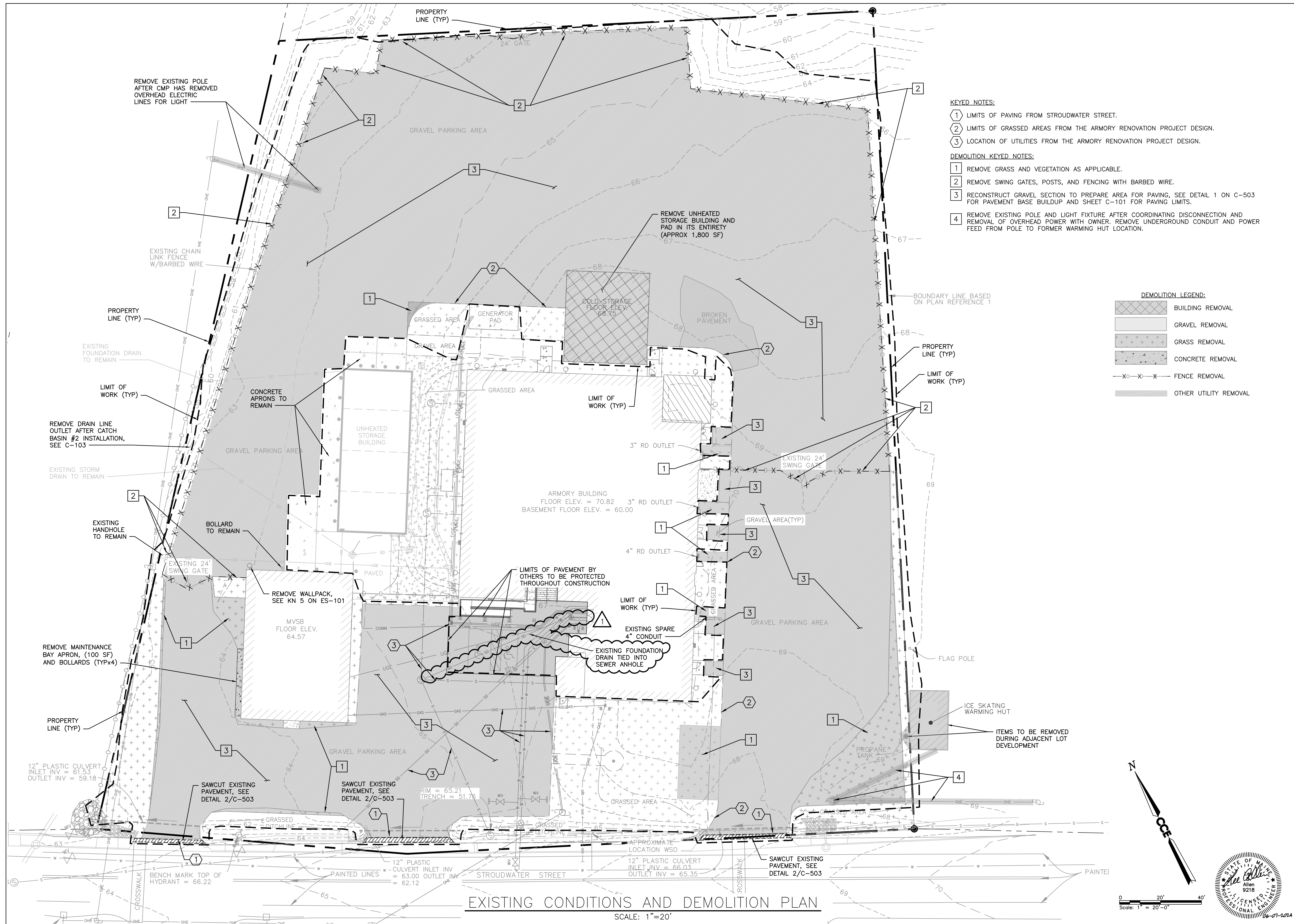
PLAN REVISIONS			
Rev#	Description	Date	Appr.
1	ADDENDUM #1	06/07/24	RLC
0	ISSUED FOR BIDDING	05/24/24	RLC

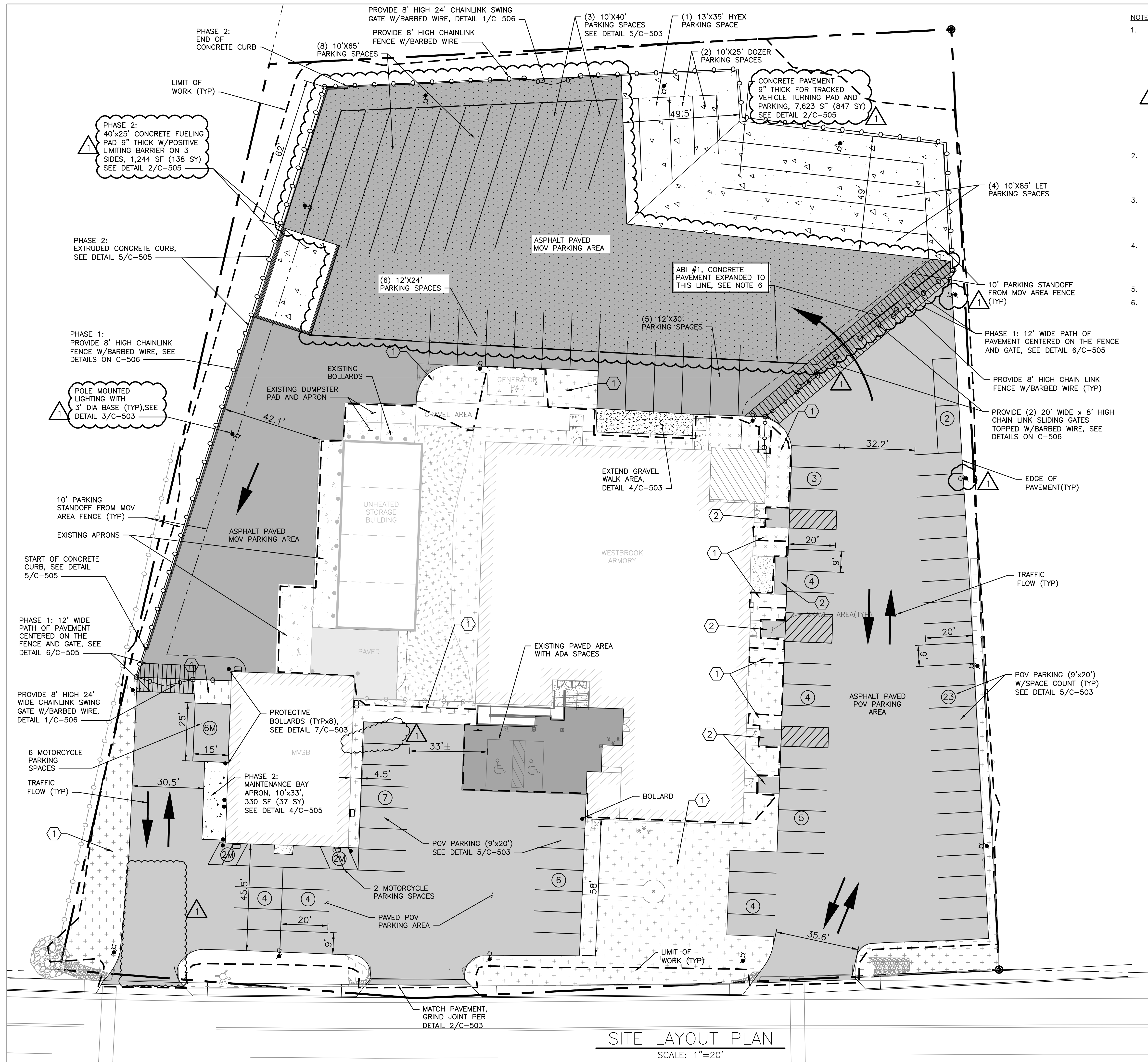
DESIGNED BY: LDA	DRAWN BY: DSE	CHECKED BY: HLS	DATE: 05/24/2024
STATE OF MAINE DEPARTMENT OF DEFENSE, VETERANS AND EMERGENCY MANAGEMENT		COLBY COMPANY ENGINEERING CCE JOB #14-057,002 47A YORK STREET PORTLAND, MAINE 207.553.7753	
SCALE: AS NOTED	DFE PROJECT NO: 23SR19-428-D		

WESTBROOK ARMORY  
WESTBROOK, MAINE  
MOV AND POV COMPOUND PROJECT  
EXISTING CONDITIONS & DEMOLITION  
PLAN

PLAN PROGRESS	
<input type="checkbox"/>	DRAFT
<input type="checkbox"/>	35% REVIEW
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<input type="checkbox"/>	ISSUED FOR CONSTRUCTION
<input type="checkbox"/>	RECORD DRAWINGS

SHEET ID:  
CD-101  
SHEET: 3 of 17





**NOTES:**

- PHASING PLAN

PHASE 1: [Symbol] COMPLETE ALL WORK EXCLUSIVE OF ASPHALT PAVEMENT, CONCRETE PAVEMENT, CONCRETE CURB, AND CONCRETE PADS, PRIOR TO SEPTEMBER 30, 2024. PHASE 1 PAVEMENT IS LIMITED TO TWO GATE LOCATIONS, SEE PLANS. (CONCRETE PAVEMENT AND PADS MAY BE CONSTRUCTED IN PHASE 1 PROVIDED THAT THEY ARE COMPLETE AND CURED TO ACCEPT VEHICULAR TRAFFIC ON SEPTEMBER 30, 2024)

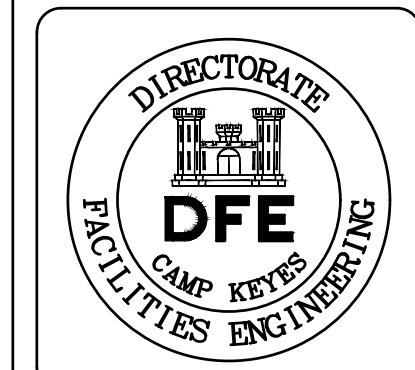
PHASE 2: COMPLETE REMAINDER OF PAVEMENT, CONCRETE PAVEMENT AND CONCRETE PADS BETWEEN APRIL 1, 2025 AND JULY 31, 2025.

- MOV ASPHALT PAVED PARKING: [Symbol] EXISTING: 5,439 SY ALLOWED: 4,450 SY PROVIDED: 4,418 SY
- POV ASPHALT PAVED PARKING: [Symbol] EXISTING: 3,146 SY ALLOWED: 3,270 SY PROVIDED: 3,070 SY (4,140 SY - 1,070 SY ACCESS ROAD)
- POV PARKING SPACES: 69 VEHICLE SPACES (INCLUDES 3 ADA) 10 MOTORCYCLE SPACES
- LIGHT POLES MUST BE LOCATED 5' OFF MOV AREA FENCING.
- ABI #1: [Symbol]

EXPAND CONCRETE PAVEMENT FROM LINE TO THE NORTH, EAST, AND WEST EDGE OF THE FENCE AS SHOWN, APPROX. 2,252 SY (20,267 SF)

**KEYED NOTES:**

- DISTURBED GRASS AREAS MUST BE RESTORED TO 4" LOAM AND RESEEDED. REESTABLISH TO EXISTING CONDITIONS OR BETTER.
- PAVE WALKS TO CONCRETE LANDINGS, MATCHING WIDTH OF LANDING AS SHOWN, SEE DETAIL 8/C-503



PLAN REVISIONS		Date	Appr.
		06/07/24	RLC
		05/24/24	RLC

DESIGNED BY: LDA  
 DRAWN BY: DSE  
 CHECKED BY: HLS  
 DATE: 05/24/2024  
 SCALE: AS NOTED  
 DFE PROJECT NO: 23SR19-428-D

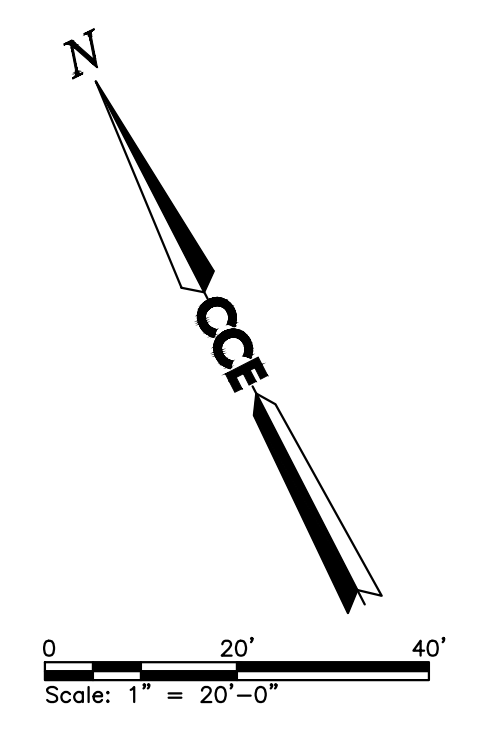
STATE OF MAINE  
 DEPARTMENT OF DEFENSE, VETERANS  
 AND EMERGENCY MANAGEMENT  
 COLBY COMPANY ENGINEERING  
 CCE JOB #144,057,002  
 47A YORK STREET  
 PORTLAND, MAINE  
 207.553.7753

WESTBROOK ARMORY  
 WESTBROOK, MAINE  
 MOV AND POV COMPOUND PROJECT  
 SITE LAYOUT PLAN

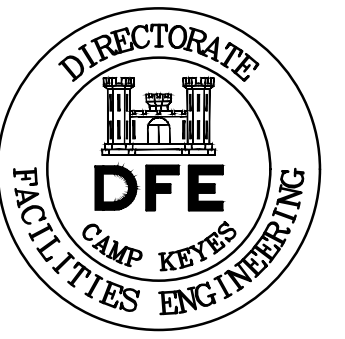
**PLAN PROGRESS**

- DRAFT
- 35% REVIEW
- 50% REVIEW
- 90% REVIEW
- FINAL REVIEW
- FOR BIDDING
- ISSUED FOR CONSTRUCTION
- RECORD DRAWINGS

SHEET ID:  
 C-101  
 SHEET: 4 OF 17



**SITE LAYOUT PLAN**  
 SCALE: 1"=20'



Rev#	Description	Date	Appr.
1	ADDENDUM #1	06/07/24	RLC
0	ISSUED FOR BIDDING	05/24/24	RLC

DESIGNED BY: LDA  
 DRAWN BY: DSE  
 CHECKED BY: HLS  
 DATE: 05/24/2024  
 SCALE: AS NOTED  
 DFE PROJECT NO: 23SR19-428-D

**STATE OF MAINE**  
 DEPARTMENT OF DEFENSE, VETERANS  
 AND EMERGENCY MANAGEMENT

COLBY COMPANY ENGINEERING  
 CCE JOB #144,057,002  
 47A YORK STREET  
 PORTLAND, MAINE  
 207.553.7753

WESTBROOK ARMORY  
 WESTBROOK, MAINE

MOV AND POV COMPOUND PROJECT

SITE UTILITY PLAN

**PLAN PROGRESS**

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<input type="checkbox"/>	35% REVIEW
<input type="checkbox"/>	50% REVIEW
<input type="checkbox"/>	90% REVIEW
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<input type="checkbox"/>	ISSUED FOR CONSTRUCTION
<input type="checkbox"/>	RECORD DRAWINGS

SHEET ID:  
 C-102  
 SHEET: 5 of 17

**NOTES:**

1. PHASING PLAN

PHASE 1: [Hatched Pattern]  
 COMPLETE ALL WORK EXCLUSIVE OF ASPHALT PAVEMENT, CONCRETE PAVEMENT, CONCRETE CURB, AND CONCRETE PADS, PRIOR TO SEPTEMBER 30, 2024. PHASE 1 PAVEMENT IS LIMITED TO TWO GATE LOCATIONS. SEE PLANS.  
 (CONCRETE PAVEMENT AND PADS MAY BE CONSTRUCTED IN PHASE 1 PROVIDED THAT THEY ARE COMPLETE AND CURED TO ACCEPT VEHICULAR TRAFFIC ON SEPTEMBER 30, 2024)

PHASE 2: [Dotted Pattern]  
 COMPLETE REMAINDER OF PAVEMENT, CONCRETE PAVEMENT AND CONCRETE PADS BETWEEN APRIL 1, 2025 AND JULY 31, 2025.

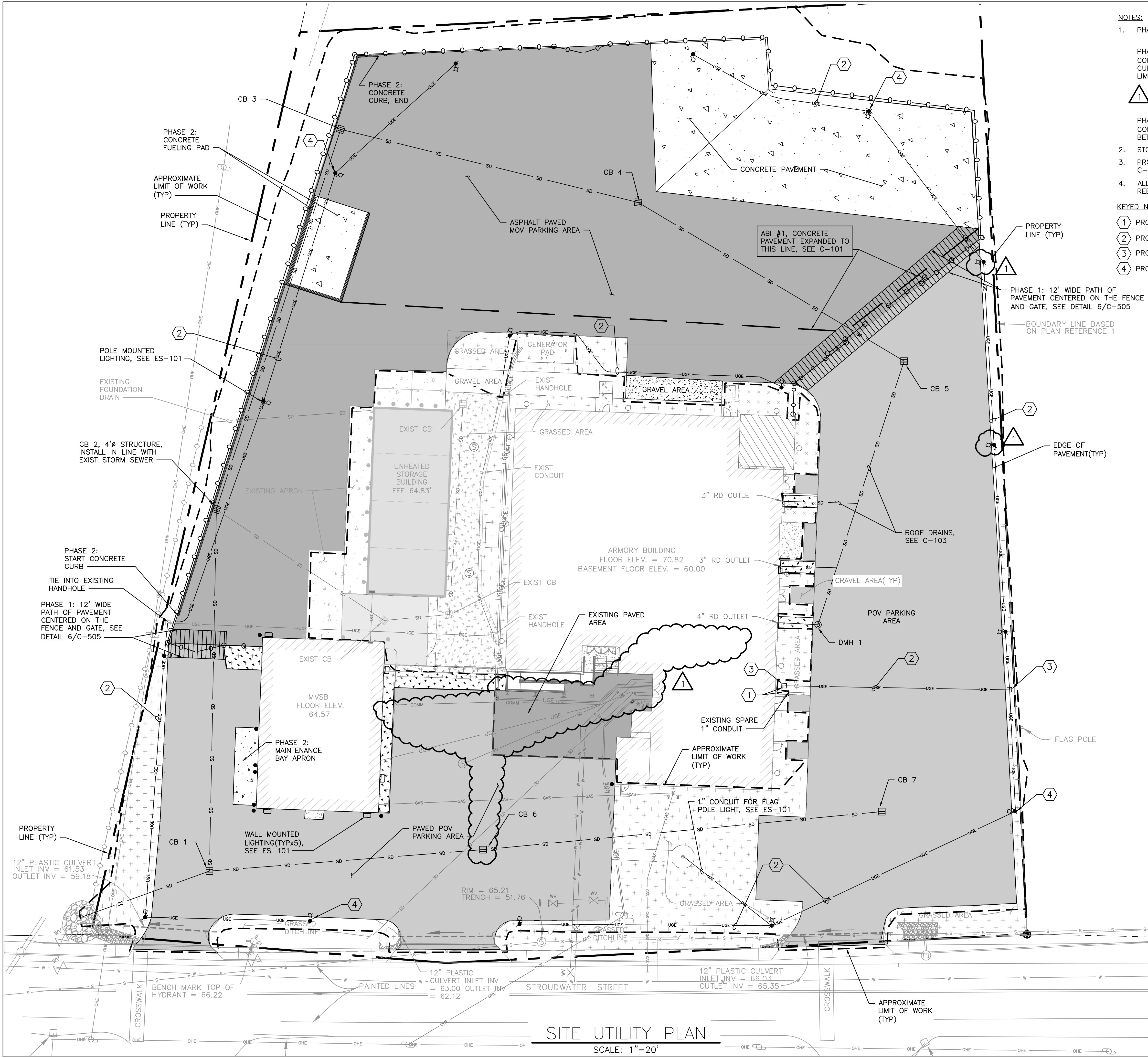
2. STORM DRAIN SYSTEM IS SHOWN FOR REFERENCE. SEE C-103 FOR DESIGN.

3. PROVIDE UNDERGROUND ELECTRICAL UTILITY TRENCH IN ACCORDANCE WITH DETAIL 6 ON C-504.

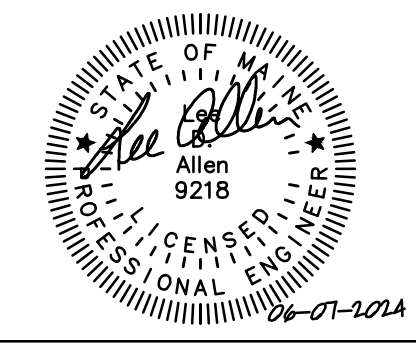
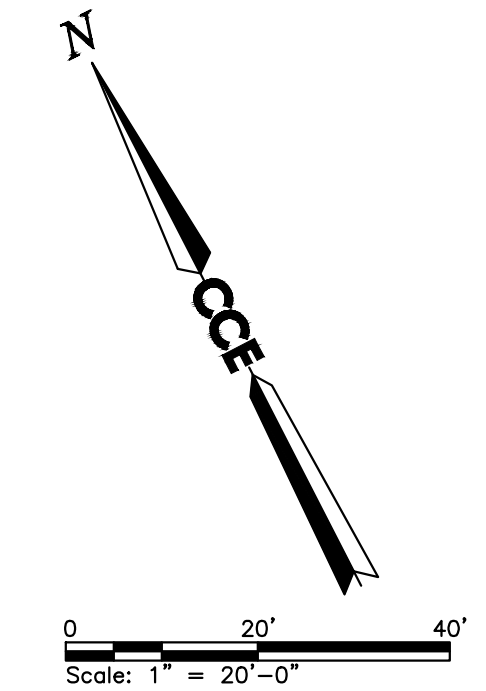
4. ALL DISTURBED GRASS AREAS MUST BE RESTORED TO 4" LOAM AND RESEEDED. REESTABLISH TO EXISTING CONDITIONS OR BETTER.

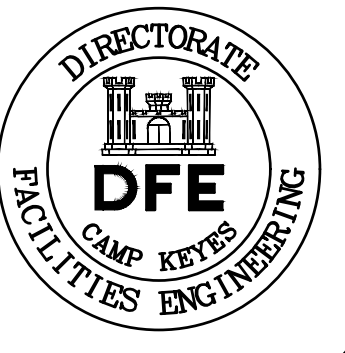
**KEYED NOTES:**

- ① PROVIDE (1) 1" CONDUIT FROM SPARE CONDUIT TO HANDHOLE
- ② PROVIDE (1) 1" CONDUIT FOR LIGHT POLE ELECTRICAL FEED, SEE DETAIL 6 ON C-504
- ③ PROVIDE ELECTRICAL HANDHOLE, SEE DETAIL 5 ON C-504
- ④ PROVIDE CONCRETE LIGHT POLE BASES (TYPx16), SEE DETAIL 3 ON C-503



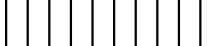
**SITE UTILITY PLAN**  
 SCALE: 1"=20'






**NOTE**

1. PHASING PLAN

PHASE 1:   
 COMPLETE ALL WORK EXCLUSIVE OF ASPHALT PAVEMENT, CONCRETE PAVEMENT, CONCRETE CURB, AND CONCRETE PADS, PRIOR TO SEPTEMBER 30, 2024. PHASE 1 PAVEMENT IS LIMITED TO TWO GATE LOCATIONS. SEE PLANS.  
 (CONCRETE PAVEMENT AND PADS MAY BE CONSTRUCTED IN PHASE 1 PROVIDED THAT THEY ARE COMPLETE AND CURED TO ACCEPT VEHICULAR TRAFFIC ON SEPTEMBER 30, 2024)

PHASE 2:   
 COMPLETE REMAINDER OF PAVEMENT, CONCRETE PAVEMENT, AND CONCRETE PADS BETWEEN APRIL 1, 2025 AND JULY 31, 2025.

- SEE SHEET C-501 FOR EROSION AND SEDIMENTATION CONTROL NOTES.
- SEE SHEET C-502 FOR EROSION AND SEDIMENTATION CONTROL DETAILS.
- SEE SHEET C-102 FOR UTILITY DESIGN.
- EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES (BMPs) TO BE REMOVED ONCE CRUSHED STONE IS PLACED AND COMPACTED WHICH SIGNIFIES THE COMPLETION OF PHASE 1.
- STRUCTURE TABLE LISTS FINAL PHASE 2 RIM ELEVATIONS WITH PAVEMENT. CONSTRUCT STORMWATER STRUCTURE DURING PHASE 1 WITH RIM ELEVATIONS 3.5" LOWER THAN RIM ELEVATIONS IN STRUCTURE TABLE, TO MATCH PHASE 1 FINISHED GRAVEL COURSE ELEVATIONS.

**KEYED NOTES:**

- CONNECT EXISTING ROOF DRAIN TO UNDERGROUND STORM DRAIN, (TYP-3), EXTEND EXISTING HORIZONTAL ROOF DRAIN PIPE WITH 90° ELBOW DOWN TO BELOW GRADE AND CONNECT TO 6" HDPE DRAIN.
- ADJUST EXISTING SMH RIMS AND WATER VALVE COVERS TO BE FLUSH WITH FINISHED PAVED GRADE.

STRUCTURE TABLE	
CB 1 RIM: 63.50 INV IN(N): 59.48 INV IN(E): 59.48 INV OUT: 59.48	CB 6 RIM: 64.95 INV IN: 60.05 INV OUT: 60.05
CB 2 RIM: 63.34 INV IN(N): 60.23 INV IN(E): 60.23 INV OUT: 60.23	CB 7 RIM: 68.50 INV OUT: 60.99
CB 3 RIM: 63.80 INV IN: 61.06 INV OUT: 61.06	DMH 1 RIM: 69.85 INV IN: 63.67 INV OUT: 63.57
CB 4 RIM: 65.55 INV IN: 61.69 INV OUT: 61.69	EXIST CB RIM: 64.30 INV IN: 60.64 INV OUT: 60.64
CB 5 RIM: 67.36 INV IN: 62.43 INV OUT: 62.33	

PIPE TABLE	
CB 1 - OUT L: 56' S: 0.005	CB 6 - CB 1 L: 113' S: 0.005
CB 2 - CB 1 L: 150' S: 0.005	CB 7 - CB 6 L: 167' S: 0.005
CB 3 - CB 2 L: 166' S: 0.005	RD 1 L: 31' S: 0.030
CB 4 - CB 3 L: 126' S: 0.005	RD 2 L: 24' S: 0.030
CB 5 - CB 4 L: 128' S: 0.005	RD 3 L: 15' S: 0.030
DMH 1 - CB 5 L: 114' S: 0.010	EXIST CB - CB 2 L: 82' S: 0.005

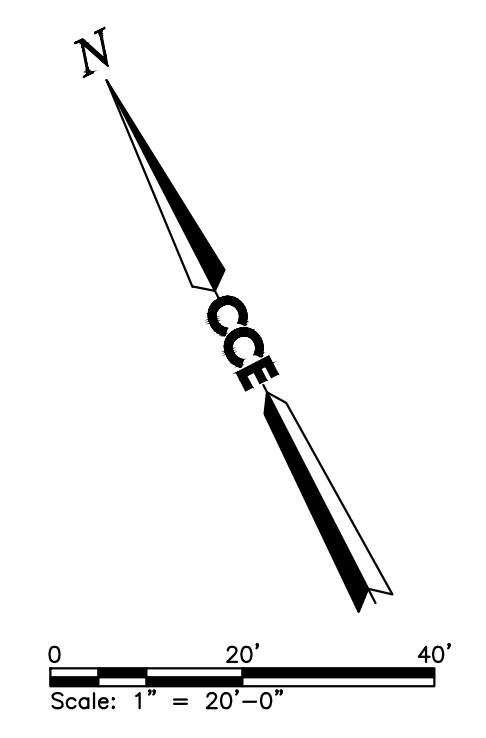
PLAN REVISIONS				
Rev#	Description	Date	RLC	Appr.
1	ADDENDUM #1	06/07/24	RLC	
0	ISSUED FOR BIDDING	05/24/24	RLC	

DESIGNED BY: LDA  
 DRAWN BY: DSE  
 CHECKED BY: HLS  
 DATE: 05/24/2024  
 SCALE: AS NOTED  
 DFE PROJECT NO: 23SR19-428-D  
 STATE OF MAINE  
 DEPARTMENT OF DEFENSE, VETERANS  
 AND EMERGENCY MANAGEMENT  
 COLBY COMPANY ENGINEERING  
 CCE JOB #144-057-002  
 47A YORK STREET  
 PORTLAND, MAINE  
 207.553.7753

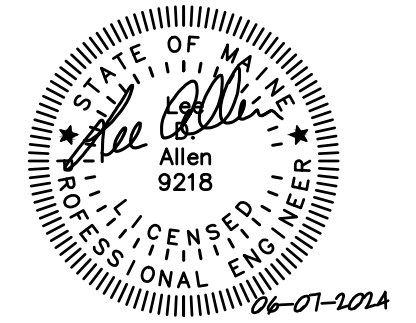
WESTBROOK ARMORY  
 WESTBROOK, MAINE  
 MOV AND POV COMPOUND PROJECT  
 GRADING, DRAINAGE, & EROSION  
 CONTROL PLAN

- PLAN PROGRESS**
- DRAFT
  - 35% REVIEW
  - 50% REVIEW
  - 90% REVIEW
  - FINAL REVIEW
  - FOR BIDDING
  - ISSUED FOR CONSTRUCTION
  - RECORD DRAWINGS

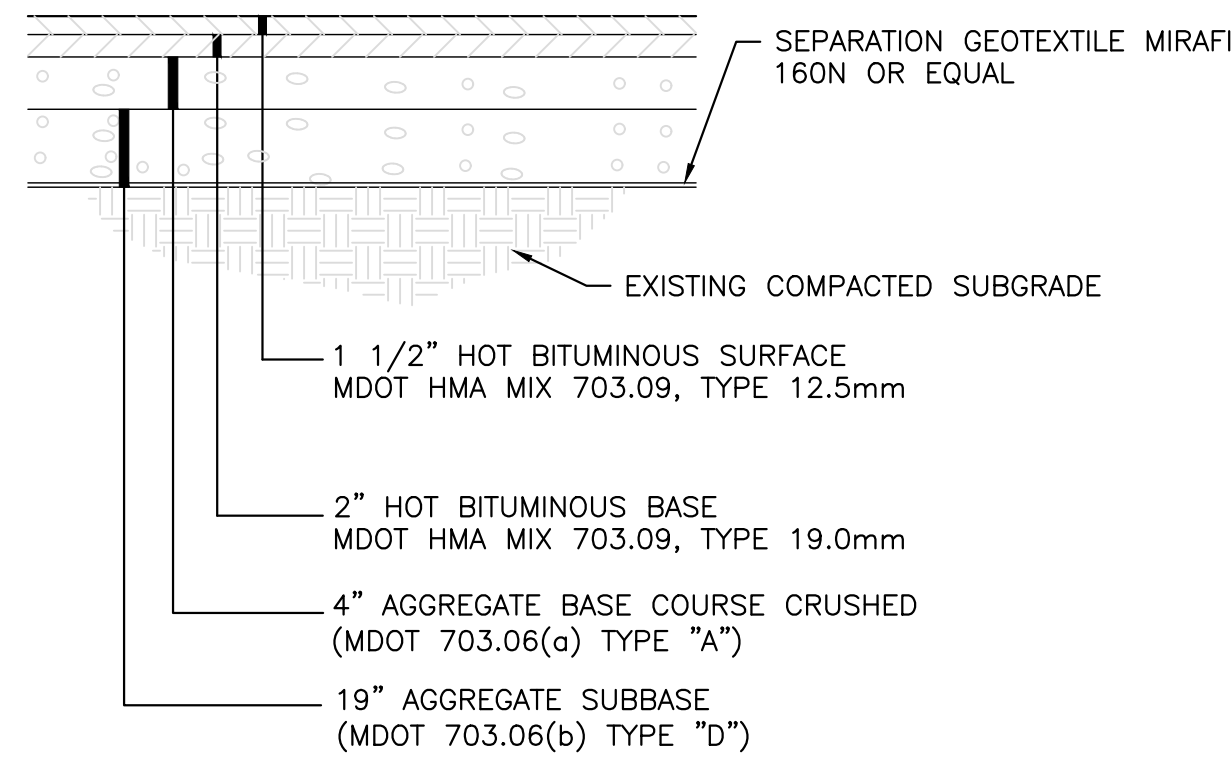
SHEET ID:  
 C-103  
 SHEET: 6 OF 17



GRADING, DRAINAGE, & EROSION CONTROL PLAN  
 SCALE: 1"=20'



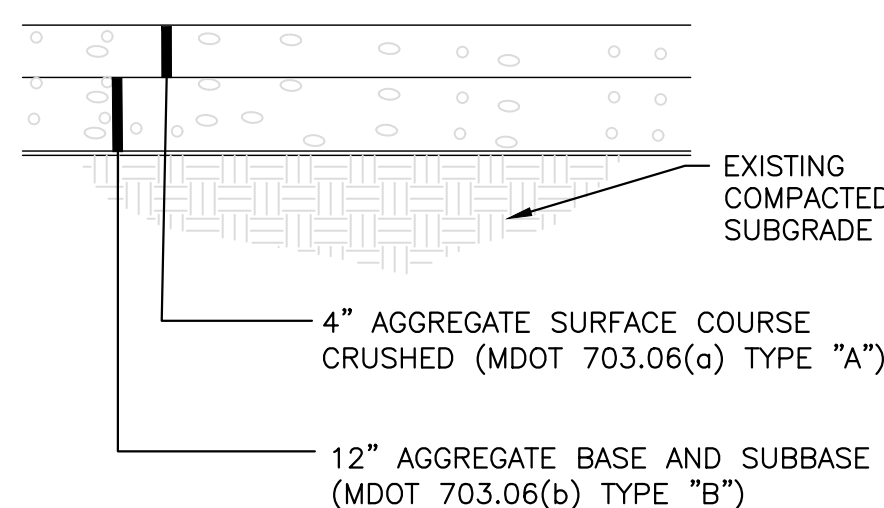




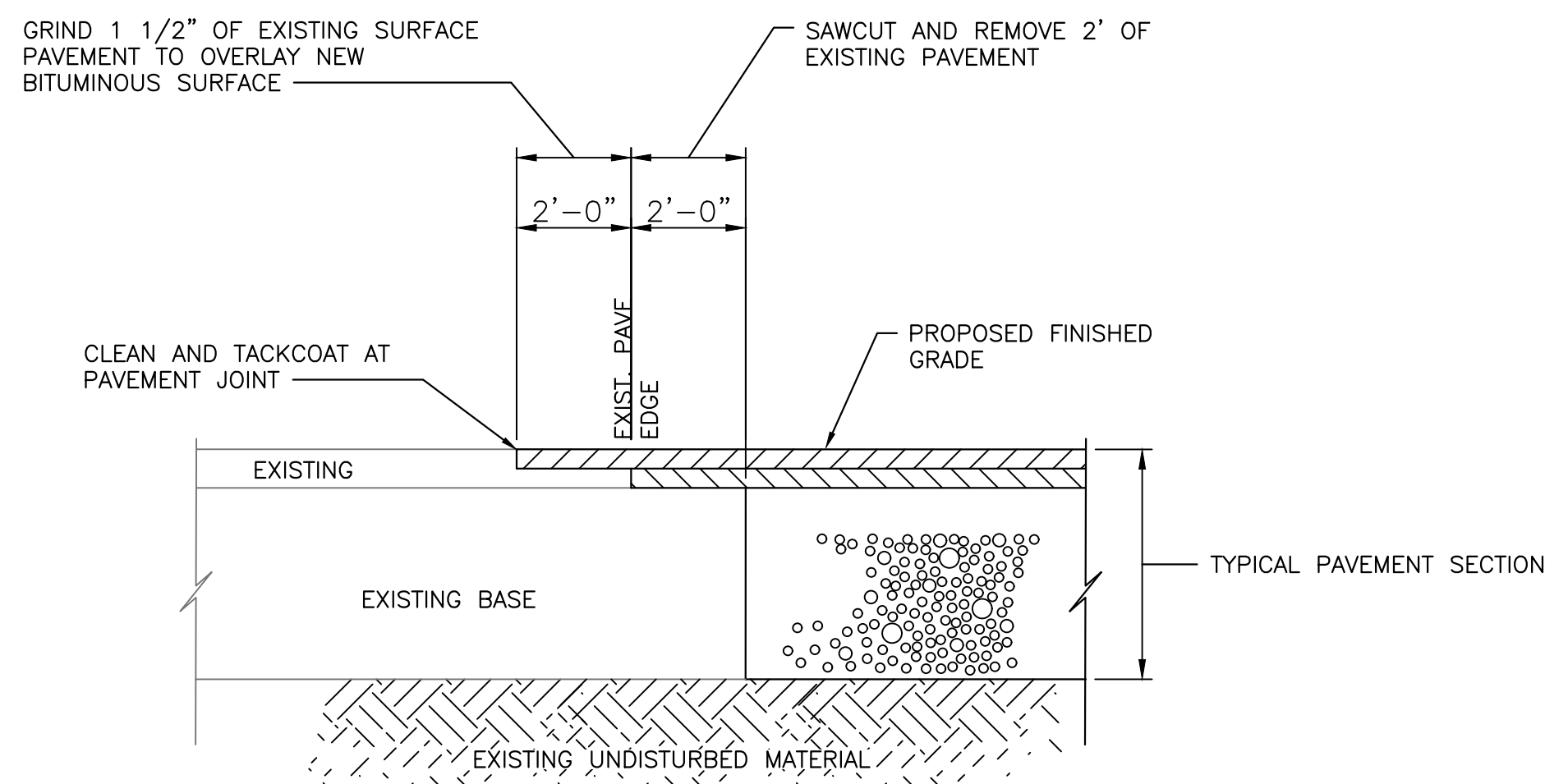
**PAVEMENT NOTES:**

1. ANY REQUIRED IMPORTED BASE GRAVEL SHALL MEET THE REQUIREMENTS OF MDOT 703.06, TYPE 'A'.
2. ANY REQUIRED IMPORTED SUB-BASE GRAVEL SHALL MEET THE REQUIREMENTS OF MDOT 703.06, TYPE 'D'.
3. IMPORTED BASE AND SUBBASE GRAVELS SHALL BE COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D 698)
4. TACK COAT SHALL BE APPLIED BETWEEN PAVEMENT LAYERS AND AT EDGES OF VERTICAL SURFACES. MATERIAL SHALL CONFORM TO MDOT 702-BITUMINOUS MATERIALS, AND BE APPLIED PER MDOT 409-BITUMINOUS TACK COAT.
5. THICKNESS AND DENSITY OF EXISTING BASE GRAVELS IS UNKNOWN. AFTER PAVEMENT REMOVAL, SUBGRADE SHALL BE INSPECTED, COMPACTED AND PROOF ROLLED. ANY AREA/MATERIAL DEFLECTING UNDER LOAD, OR OTHERWISE DETERMINED TO BE UNSUITABLE FOR PAVEMENT SUBGRADE BY THE OWNER OR ENGINEER, SHALL BE REMOVED AND REPLACED WITH APPROPRIATE BASE AND SUBBASE GRAVELS AS NECESSARY.

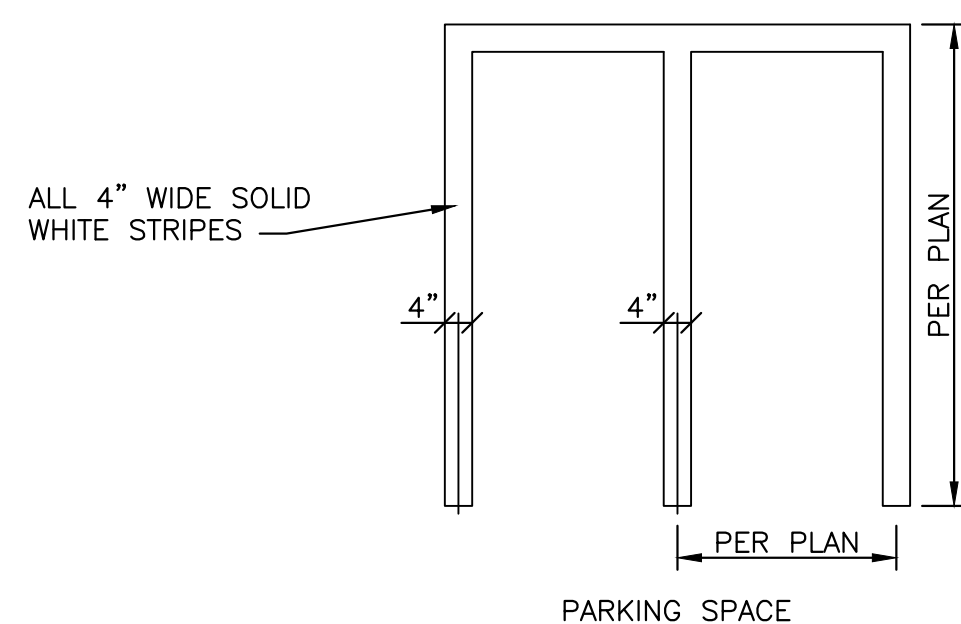
**1 TYPICAL PAVEMENT SECTION**  
NOT TO SCALE MDOT ITEM #401 & #304 C-101



**4 TYPICAL GRAVEL SECTION**  
NOT TO SCALE C-101

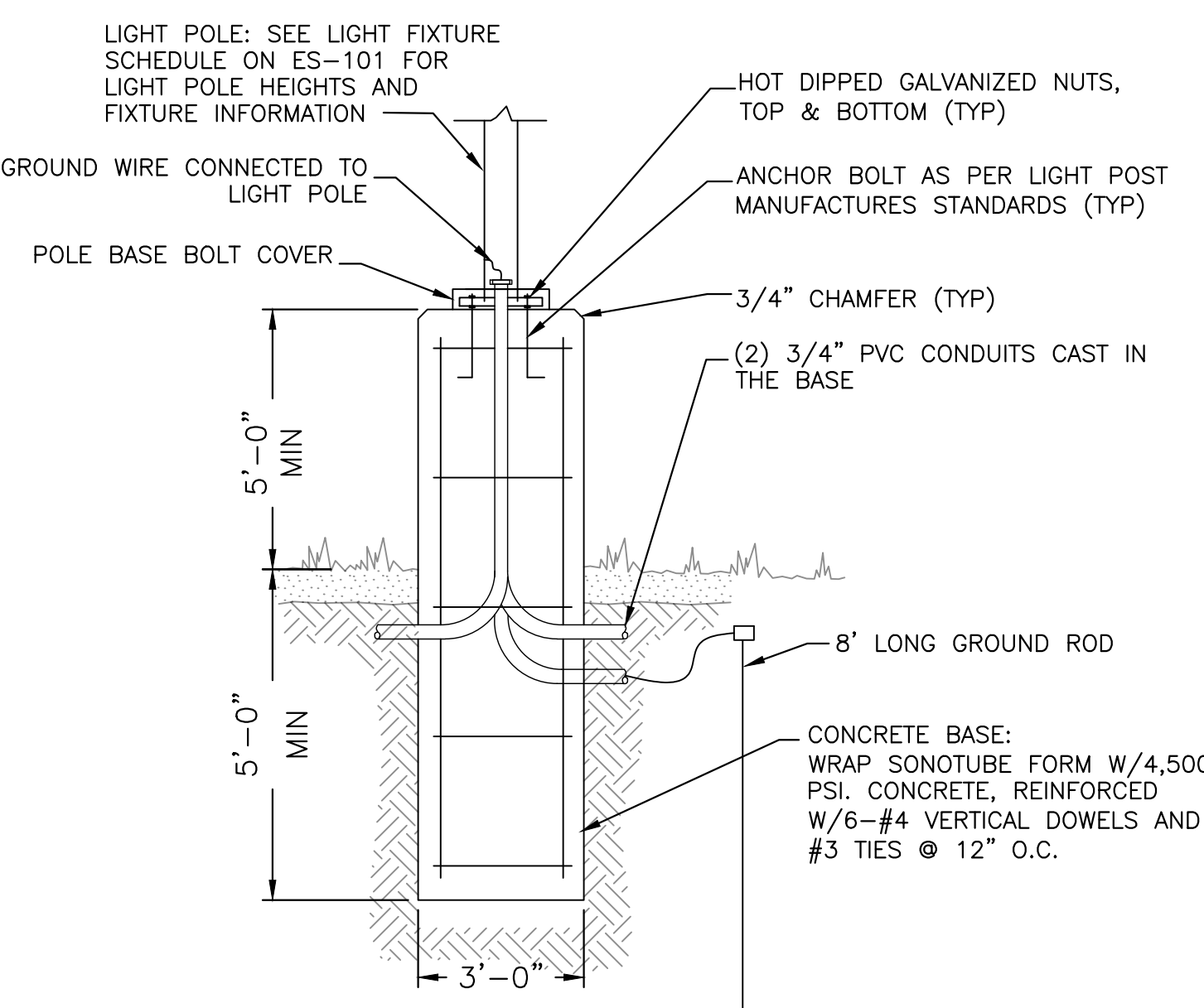


**2 TYPICAL PAVEMENT JOINT AT EXISTING PAVEMENT**  
NOT TO SCALE MDOT ITEM #202.203 C-101



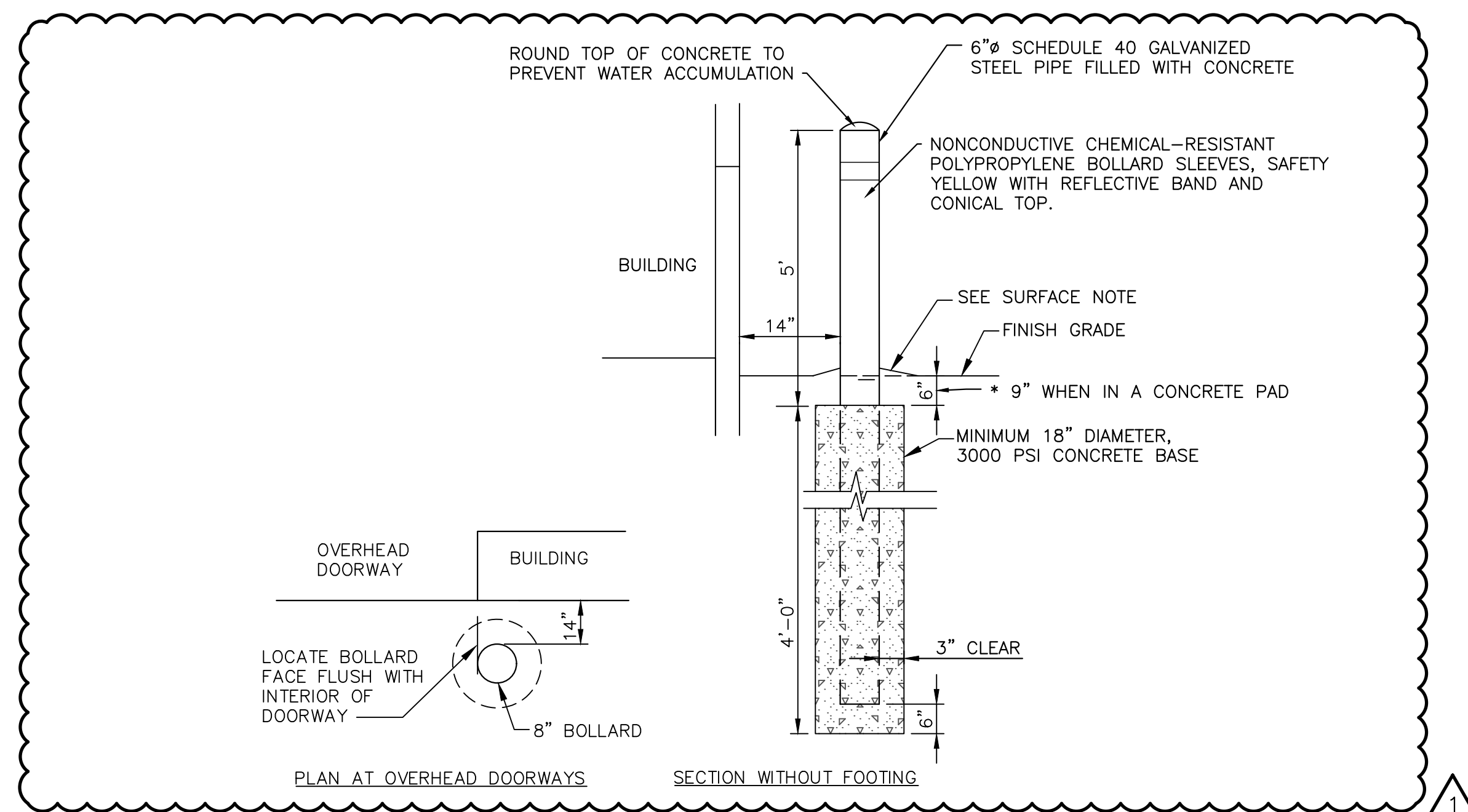
- NOTES:**
1. ALL PAINT STRIPING MUST BE IN ACCORDANCE WITH MDOT ITEM 627.75
  2. SEE SHEET C-101 FOR LOCATIONS AND LAYOUT

**5 PAINT STRIPING DETAILS**  
NOT TO SCALE C-101



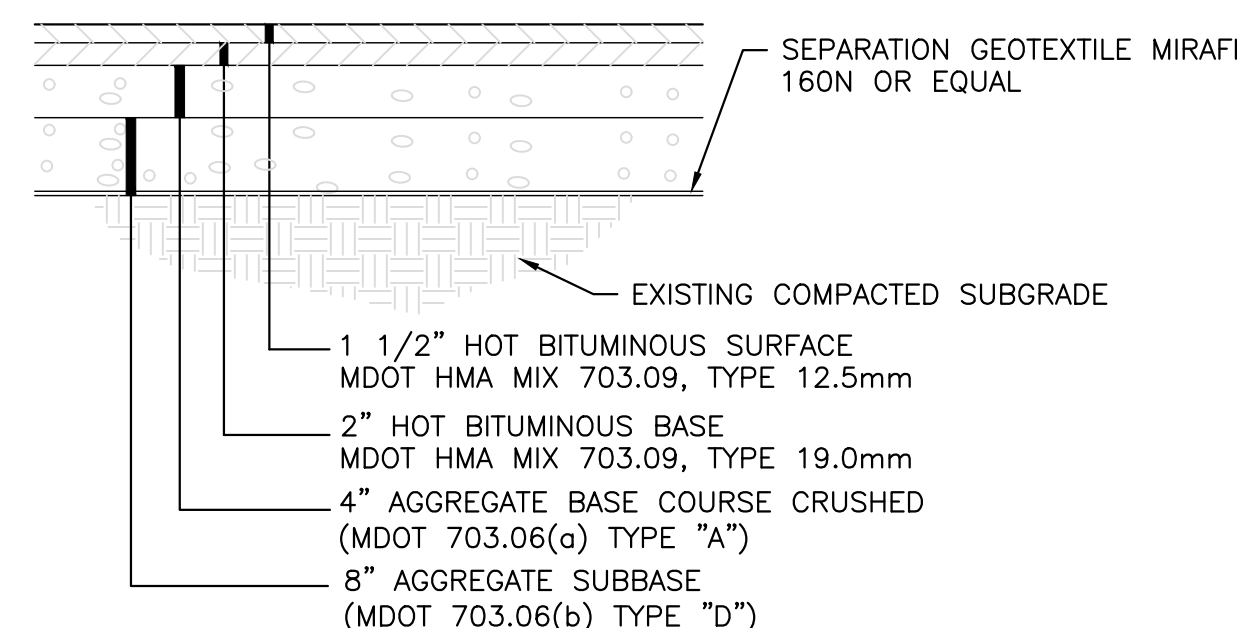
- NOTES:**
1. SEE DRAWING C-101 FOR POLE LOCATIONS
  2. BASE, BACKFILL AND FINISH SURFACE BY EARTHWORK CONTRACTOR
  3. CONDUIT, CABLE, POLE AND FIXTURE BY ELECTRICAL CONTRACTOR.
  4. REFER TO ELECTRICAL SITE PLAN FOR CONDUIT AND BRANCH CIRCUIT SIZING AND QUANTITY.

**3 LIGHT POLE BASE**  
NOT TO SCALE C-101



**SURFACE NOTE:**  
BITUMINOUS ASPHALT SURFACE: SLOPE ASPHALT AWAY FROM TUBE 1/4" PER FT ON ALL SIDES.  
CONCRETE SURFACE: PLACE BOLLARDS THEN POUR CONCRETE PAVEMENT, SURFACE FLUSH WITH CONCRETE BASE.

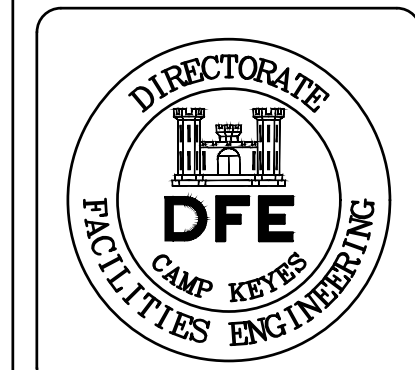
**7 TYPICAL BOLLARD DETAIL**  
NOT TO SCALE C-101



**PAVEMENT NOTES:**

1. ANY REQUIRED IMPORTED BASE GRAVEL SHALL MEET THE REQUIREMENTS OF MDOT 703.06, TYPE 'A'.
2. ANY REQUIRED IMPORTED SUB-BASE GRAVEL SHALL MEET THE REQUIREMENTS OF MDOT 703.06, TYPE 'D'.
3. IMPORTED BASE AND SUBBASE GRAVELS SHALL BE COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D 698)
4. TACK COAT SHALL BE APPLIED BETWEEN PAVEMENT LAYERS AND AT EDGES OF VERTICAL SURFACES. MATERIAL SHALL CONFORM TO MDOT 702-BITUMINOUS MATERIALS, AND BE APPLIED PER MDOT 409-BITUMINOUS TACK COAT.
5. THICKNESS AND DENSITY OF EXISTING BASE GRAVELS IS UNKNOWN. AFTER PAVEMENT REMOVAL, SUBGRADE SHALL BE INSPECTED, COMPACTED AND PROOF ROLLED. ANY AREA/MATERIAL DEFLECTING UNDER LOAD, OR OTHERWISE DETERMINED TO BE UNSUITABLE FOR PAVEMENT SUBGRADE BY THE OWNER OR ENGINEER, SHALL BE REMOVED AND REPLACED WITH APPROPRIATE BASE AND SUBBASE GRAVELS AS NECESSARY.

**8 SIDEWALK PAVEMENT SECTION**  
NOT TO SCALE MDOT ITEM #401 & #304 C-101



PLAN REVISIONS		Date	Appr.
1	ADDENDUM #1	06/07/24	RLC
0	ISSUED FOR BIDDING	05/24/24	RLC

DESIGNED BY: LDA	DRAWN BY: DSE	CHECKED BY: HLS	DATE: 05/24/2024	SCALE: AS NOTED	DFE PROJECT NO: 23SR19-428-D
<b>STATE OF MAINE</b> DEPARTMENT OF DEFENSE, VETERANS AND EMERGENCY MANAGEMENT					
COLBY COMPANY ENGINEERING OCE JOB #14-057.002 47A YORK STREET PORTLAND, MAINE 207.553.7753					

WESTBROOK ARMORY WESTBROOK, MAINE	MOV AND POV COMPOUND PROJECT
CONSTRUCTION DETAILS	

PLAN PROGRESS	
<input type="checkbox"/> DRAFT	<input type="checkbox"/> 35% REVIEW
<input type="checkbox"/> 50% REVIEW	<input type="checkbox"/> 90% REVIEW
<input type="checkbox"/> FINAL REVIEW	<input checked="" type="checkbox"/> FOR BIDDING
<input type="checkbox"/> ISSUED FOR CONSTRUCTION	<input type="checkbox"/> RECORD DRAWINGS

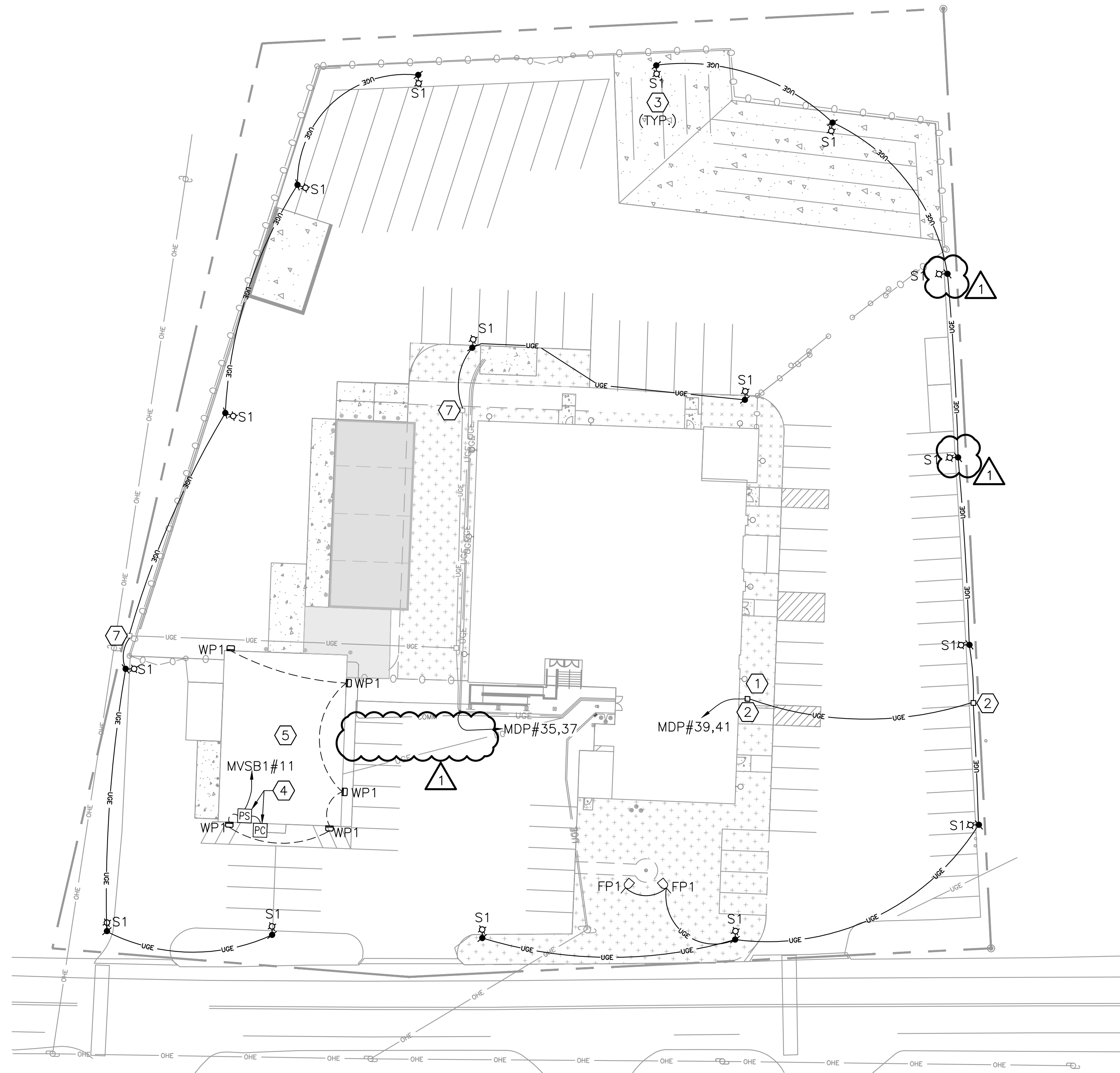
SHEET ID:  
**C-503**  
SHEET: 9 of 17



TYPE	DESCRIPTION	VOLT	MANUFACTURER (OR EQUAL)	LAMPS	WATTAGE	MOUNTING	CONTROL	NOTES
S1	LOW PROFILE LED SITE FIXTURE, 5000K, 70 CRI	UNIV	RAR2-320L-110-5K7-2-UNV-ASQ-*+7PR-TL	LED	110	25'-0" AFG	INTEGRAL PHOTOCELL	PROVIDE WITH A 20' SQUARE POLE. * FIXTURE FINISH TO MATCH EXISTING SITE LIGHTING FIXTURES
WP1	WALLPACK FIXTURE WITH RUGGED DIE-CAST HOUSING, 5000K, 80 CRI	UNIV	XWS-LED-6L-FTW-UNV-DIM-50-80CRI-PCR120-BRZ	LED	60	12'-0" AFG	EXTERNAL BUILDING MOUNTED PHOTOCELL	* FIXTURE FINISH, WATTAGE, LUMENS AND COLOR TO MATCH EXISTING SITE LIGHTING FIXTURES
FP1	LED BULLET FLOOD LIGHT, POWER/COLOR SELECT, BRONZE FINISH, 80 CRI	UNIV	KT-FLED25PS-C1E-UNV-8CSB-VDIM	LED	15/20/25	1'-0" AFG	INTEGRAL PHOTOCELL	

### LIGHTING FIXTURE SCHEDULE

SCALE: NTS



### ELECTRICAL SITE PLAN

SCALE: 1"=30'

#### GENERAL NOTES:

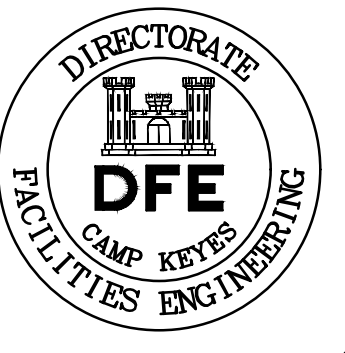
- PERFORM WORK IN ACCORDANCE WITH NFPA-70, NATIONAL ELECTRICAL CODE (NEC) 2020.
- CONDUCTOR MATERIAL, INCLUDING WIRING, PANELBOARD BUSES, TRANSFORMER WINDINGS, AND GROUNDING MUST BE COPPER. ALUMINUM CONDUCTORS ARE NOT ALLOWED.
- UNLESS OTHERWISE NOTED, USE 2#12 AWG CONDUCTORS AND #12 GND FOR ALL LIGHTING CONDUCTORS.

#### KEYED NOTES:

- EXISTING 1" CONDUIT STUB OUT FROM ELECTRICAL ROOM. EXTEND AS SHOWN.
- REFER TO SHEET C-504, DETAIL 5 FOR HANDHOLE DETAIL.
- REFER TO CIVIL DRAWING C-503, DETAIL 3 FOR POLE BASE DETAIL.
- PROVIDE EXTERIOR PHOTOCELL FOR CONTROL OF BUILDING EXTERIOR LIGHT FIXTURES. MOUNT PHOTOCELL UNDERNEATH BUILDING CANOPY. PROVIDE 24V POWER SUPPLY.
- EXISTING WALLPACKS, CONDUIT AND WIRING TO BE PULLED BACK TO JUNCTION BOX AND EXTENDED TO NEW LOCATIONS OR REMOVED BACK TO SOURCE AS NECESSARY.
- NOT USED.
- CONNECT CIRCUIT THROUGH EXISTING HANDHOLE.

#### LIGHTING LEGEND:

- POLE MOUNTED SITE LIGHTING FIXTURE  
FIXTURE TYPE (SEE LIGHT FIXTURE SCHEDULE)
- WALLPACK  
FIXTURE TYPE (SEE LIGHT FIXTURE SCHEDULE)
- FLOOD LIGHT  
FIXTURE TYPE (SEE LIGHT FIXTURE SCHEDULE)
- PHOTOCELL
- POWER SUPPLY



Rev#	Description	Date	RLC	Appr.
1	ADDENDUM #1	06/07/24	RLC	
0	ISSUED FOR BIDDING	05/24/24	RLC	

DESIGNED BY: PRR  
 DRAWN BY: ACY  
 CHECKED BY: JMB  
 DATE: 05/24/2024  
 SCALE: AS NOTED  
 DFE PROJECT NO: 23SR19-428-D

**STATE OF MAINE**  
 DEPARTMENT OF DEFENSE, VETERANS  
 AND EMERGENCY MANAGEMENT  
 COLBY COMPANY ENGINEERING  
 CCE JOB #144,057,002  
 47A YORK STREET  
 PORTLAND, MAINE  
 207.553.7753

WESTBROOK ARMORY  
 WESTBROOK, MAINE  
 MOV AND POV COMPOUND PROJECT  
 ELECTRICAL SITE PLAN

PLAN PROGRESS
<input type="checkbox"/> DRAFT
<input type="checkbox"/> 35% REVIEW
<input type="checkbox"/> 50% REVIEW
<input type="checkbox"/> 90% REVIEW
<input type="checkbox"/> FINAL REVIEW
<input checked="" type="checkbox"/> FOR BIDDING
<input type="checkbox"/> ISSUED FOR CONSTRUCTION
<input type="checkbox"/> RECORD DRAWINGS

SHEET ID:  
 ES-101  
 SHEET: 13 OF 17

