Dock/Ramp NRPA Resubmission

~~Town of Alna~~

Application for Permit

Property Owner: Jeff Spinney

Map R4 Lot 21A Size of Lot 99

Sewage Disposal Permit No. N/A Internal Plumbing Permit No. N/A

Shoreland (X) Yes ( ) No Tree Growth, Farm/Open Space (X) Yes ( ) No

Department of Transportation Driveway Permit No. N/A

List of other buildings on this lot: house, greenhouse, garage (2)

Proposed project:

( ) Single family dwelling
( ) Accessory building
( ) Porch/Deck
( ) Mobile or modular home
(X) Other (be specific) Dock/Ramp alterations

( ) Renovation
( ) Addition
(X) Shoreland Activity

Please see Building Permit Fee Schedule for fees

Check No. _____ Cash ( ) Amount: _____

Application must be properly filled out including the Plot Plan and submitted with an attached Floor Plan. Floor Plan shall include size, height of building from sill, and materials to be used for sidewalls, roof and foundation.

To the best of my knowledge, all information on this application is true and correct:

Signature of Owner or Agent _____ Date: 11/11/19

Address: 126 Golden Ridge Rd Phone: 215-5230

Alna, Me 04535

Date received by C.E.O. 11/13/19

Application Approved _____ Denied _____

(See Sheet 2 of 4 for conditions of Approval or reasons for Denial)

Permit No. _____

CEO/Planning Board _____ Date: _____

Town of Alna
Application for Permit
Condition(s) of Approval ( ) Reason(s) for Denial ( )

Town of Alna
Application for Permit

PLOT PLAN Please show location of proposed and existing building(s), driveway & access roads, include all setback distances from property boundaries, roads and right of ways, all wetlands and waterbodies; any existing wells and septic systems. Include shoreland setback or flood elevations if applicable. Also show all proposed decks and porches.

- See attached plans/details excerpted from NRPA application already on file w/ town.

Town of Alna
Application for Permit
Standards

All construction shall conform to generally accepted standards of good building practice. Each dwelling unit shall have at least two suitable exit doorways.

Chimneys shall be a type approved by the State of Maine Fire Marshall or Oil Burnerman's Licensing Board.

Exterior walls visible from a public way shall be finished within 12 months after occupancy.

Electrical work shall be in accordance with the National Electrical Code published by the National Fire Protection Association.

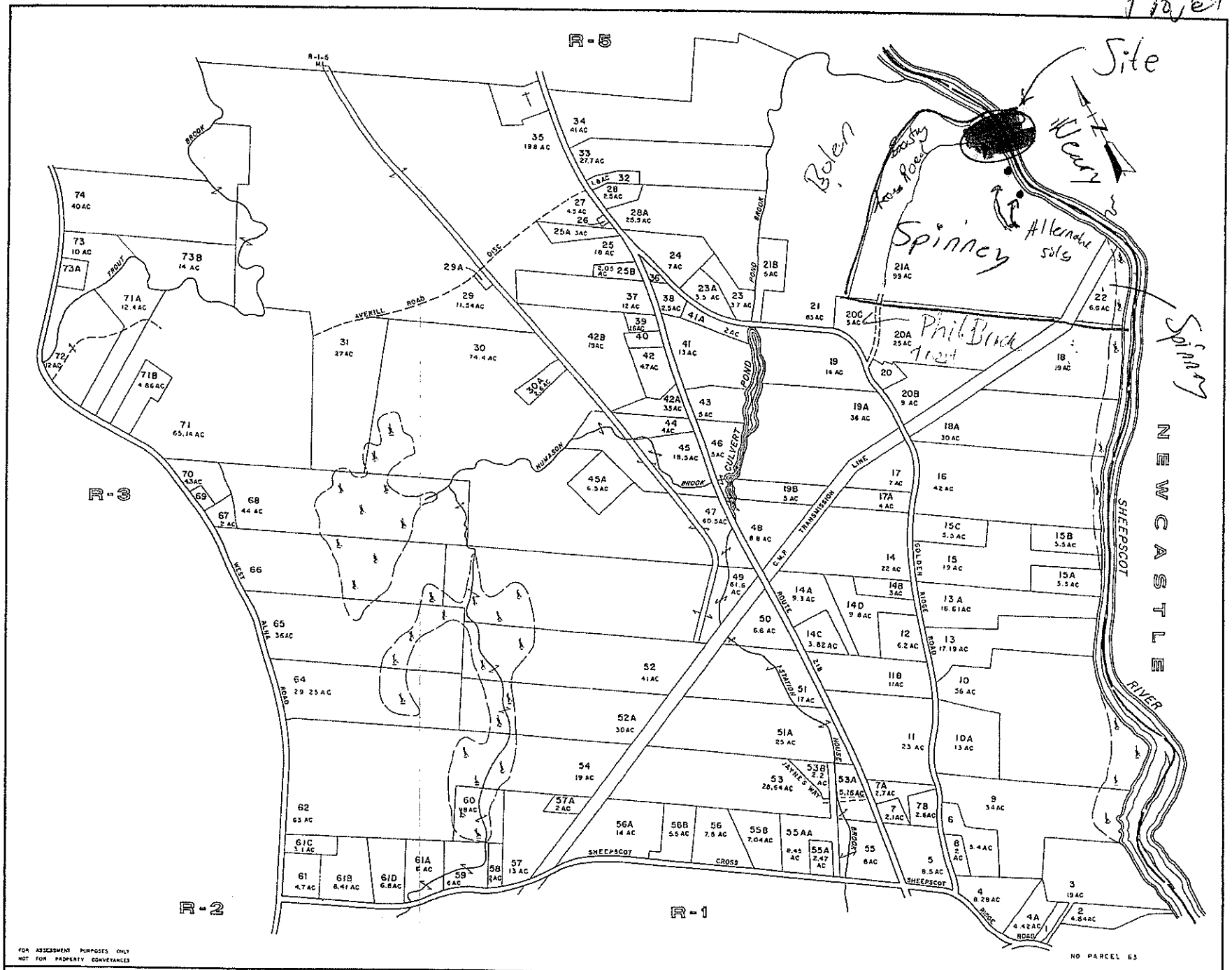
All plumbing and/or sewage disposal for any structure covered by the provisions of this Ordinance shall be in strict accordance with the State of Maine Internal Plumbing Rules and/or Subsurface Wastewater Disposal Rules. No plumbing or subsurface sewage disposal system shall be covered until it has been inspected and permission to cover given by the Town of Alna Licensed Plumbing Inspector.

No structure or subsurface sewage disposal system shall be closer than 50 feet to the center line of any street or highway and shall be setback at least 20 feet from any adjoining lot.

Erosion & Sedimentation controls shall be in place prior to conducting an activity involving filling, displacing or exposing earthen materials and remain in place and functional until site is permanently stabilized.

This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.

Any changes in project as submitted require Code Enforcement Officer or planning board approval.



FOR ASSESSMENT PURPOSES ONLY
NOT FOR PROPERTY CONVEYANCES

PREPARED BY PHOTOGRAMMETRIC METHODS BY
JOHN E. O'DONNELL & ASSOCIATES
AUBURN, MAINE
1975

LEGEND
ADJACENT SHEET NO. 12
COMMON OWNERSHIP OR ✓
DEVELOPMENT LOT NO. ②
SCALED DIMENSION ±

PROPERTY MAP
ALNA
MAINE

SCALE IN FEET
0 500 1000

R-4

Attachment 7: Construction details

The work site will be accessed via the existing gravel access road from the home located at 126 Golden Ridge Rd. in Alna. The timing of work is somewhat flexible, we are seeking to minimize impacts and avoid wet season and would need to be timed to coincide with low tide due to the nature of the work to be done below the high tideline.

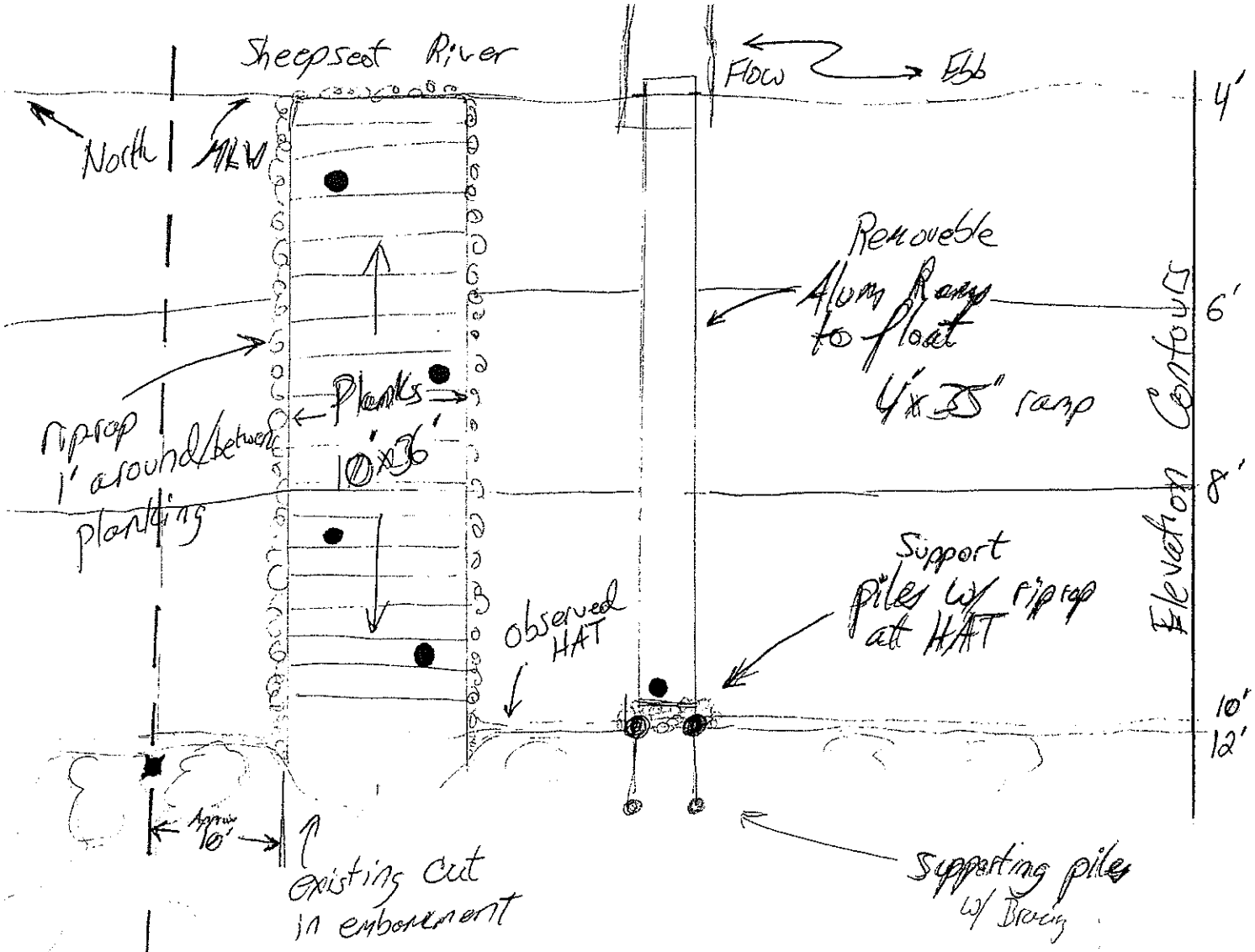
Turbidity curtain would be extended into the water to encapsulate the work area completely and minimize silting/turbity issues in river and a local state/DEP licensed contractor trained in erosion control has agreed to perform all work.

Larger (10" – 2') natural boulder/stone material to be used for piling rip-rap as noted in diagrams.

Once complete, if applicable, any extra material would be returned to the upland area and used for other unrelated projects as needed.

Pre-cast boat launch concrete planks would be brought in on a trailer, lifted off and into place by tractor/excavator and bolted together in place per manufacturers recommended approach. Sub Base material (crushed stone) would be brought in in small truck/trailer and be put into place by excavator under planks and by hand between planks, no extra material would be left on site. It is not expected that there would be any additional removeal of trees as there is an existing launch ramp of same size in use now and work area should be sufficiently clear. Any disturbed material above the HAT would be regraded/replanted as necessary at completion, any silt/mud/stone removed to make way for subbase would be removed from shoreland zone to upland location.

All machinery and material not in use or placed would not remain in tidal zone, work would be coordinated to occur at low tide.



Existing
Parking/Dock/boat
Storage area

R-421
Bolen

R-421A
Spinney

Jeff Spinney 8/20/19
126 Golden Ridge Rd
Alna, ME 04535
Scale: 1 square = 2' Wetland survey = Appendix B

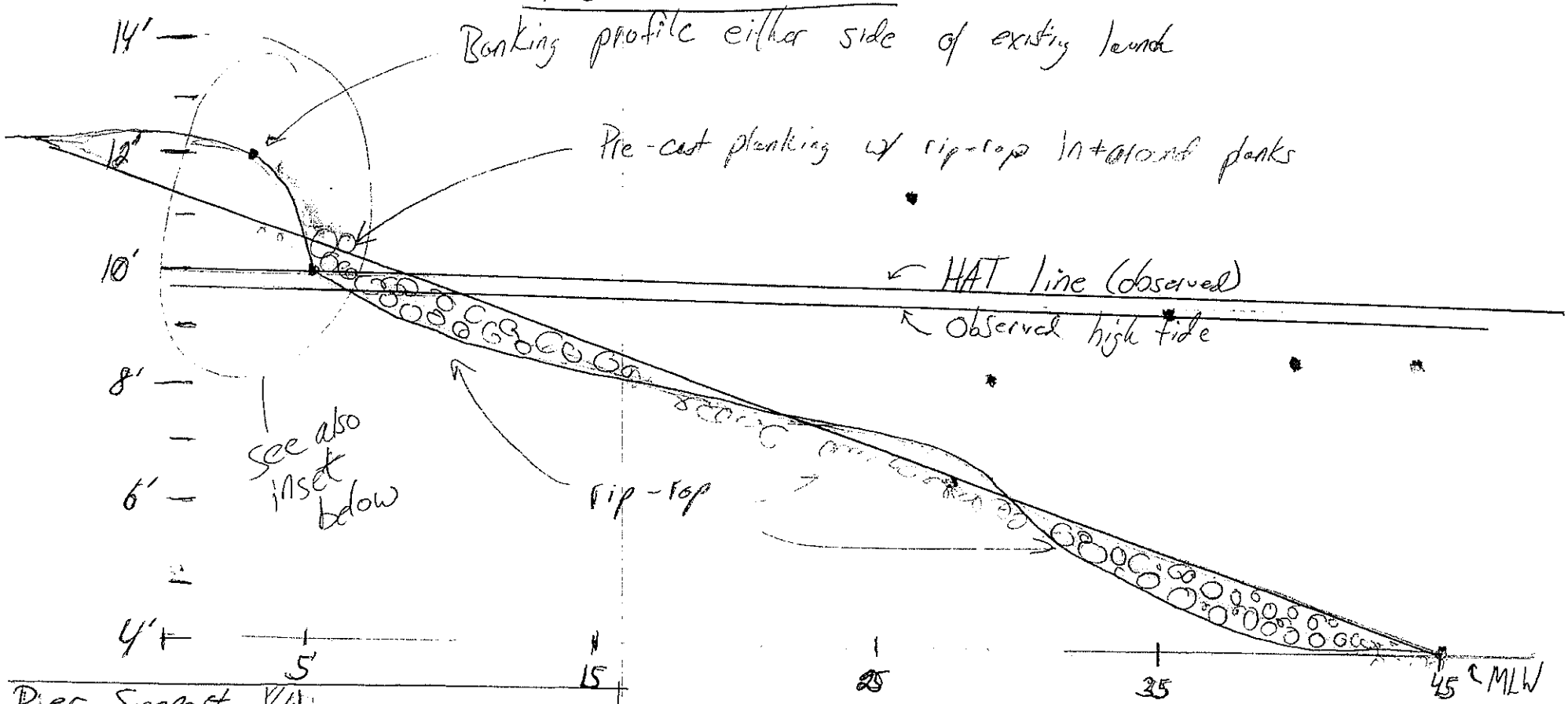
Top View

Road to
Camping
area

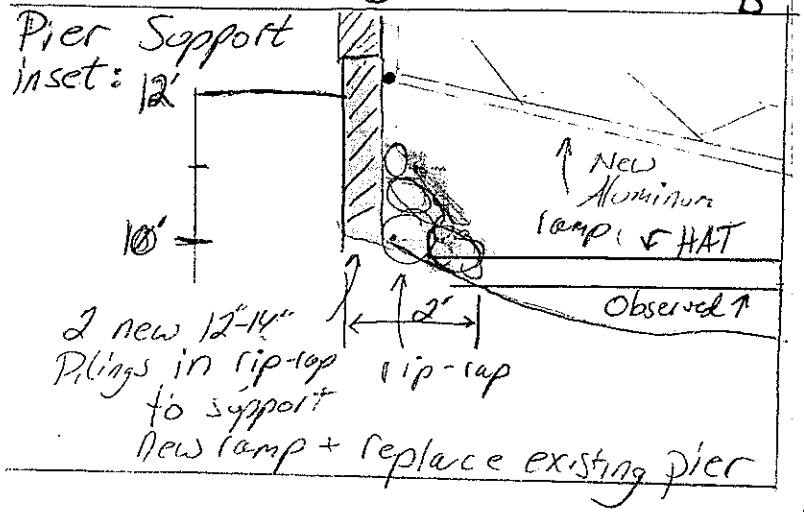
Access
Road

Note: Red Dashed Line
is property boundary

Elevation view



Pier Support inset:

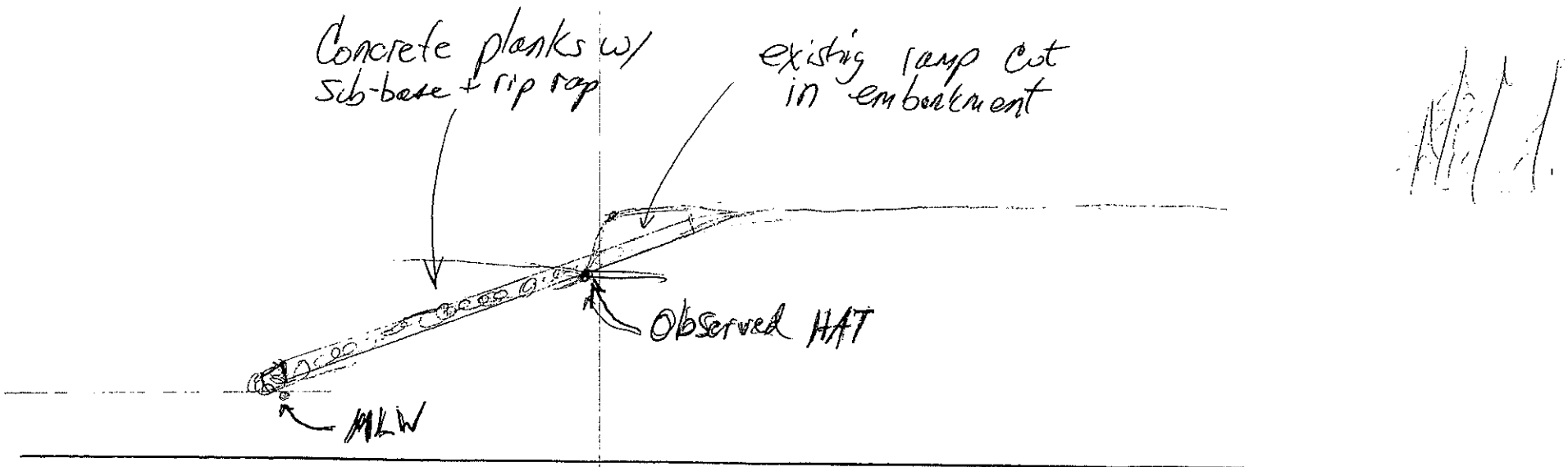


Horizontal Scale:
1 square = 1'

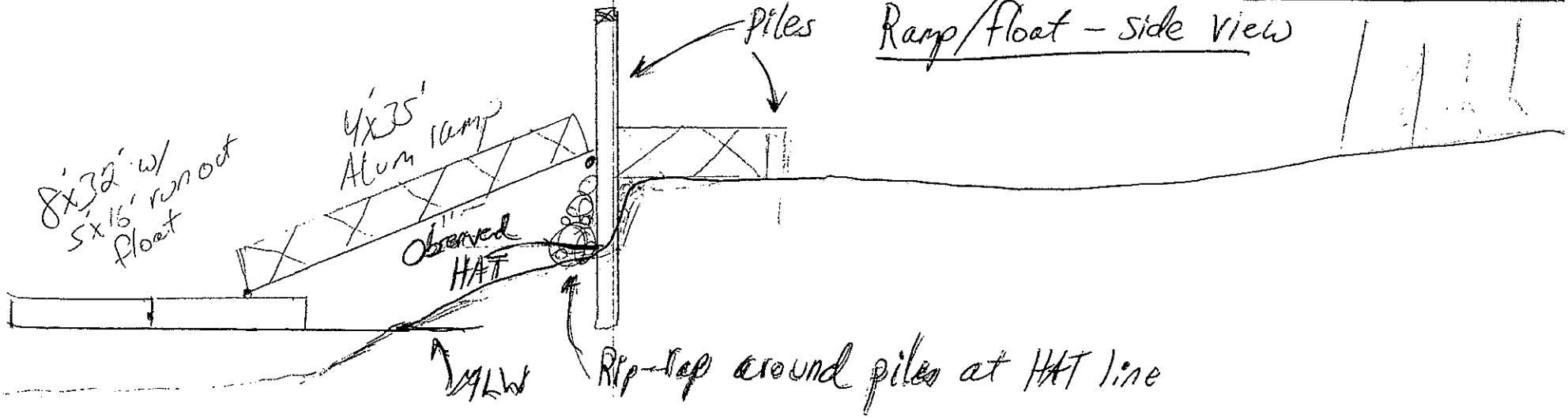
Jeff Spinney
126 Golden Ridge Rd
Alna, Me 04535

Boat Ramp
5/7/19 – Side Views

Launch ramp planking - side view

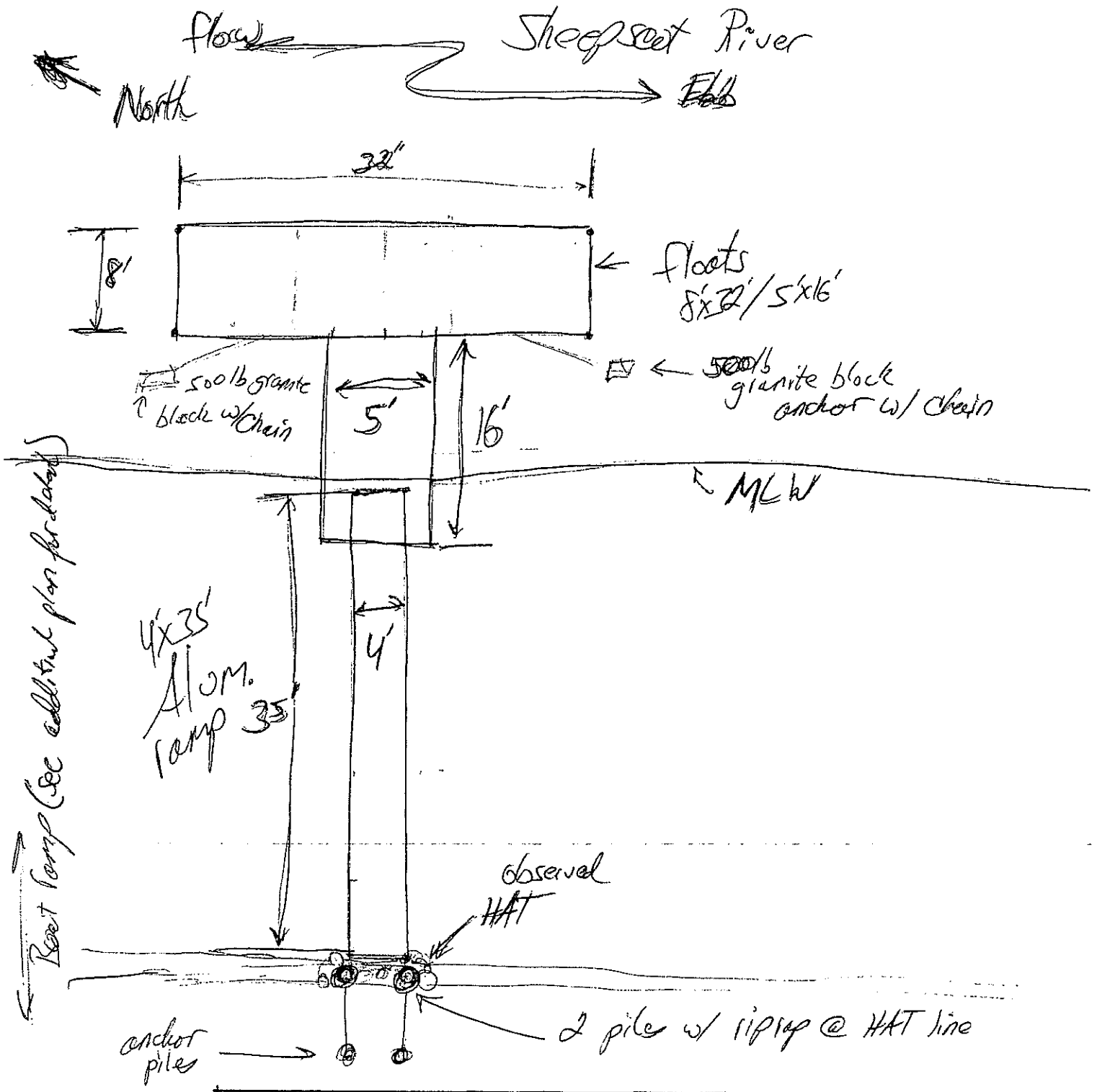


Ramp/float - side view



Jeff Spinner
126 Golden Ridge Rd
Alna, Me 04535

8/20/19



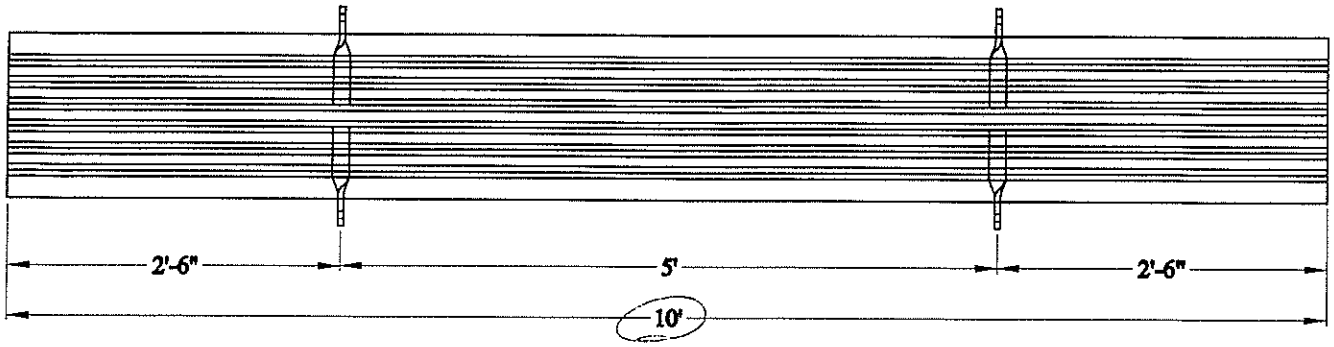
Ramp/Float Detail
8/20/19

Jeff Spinney
126 Golden Ridge Rd
Alna, Me 04535

American Concrete Industries

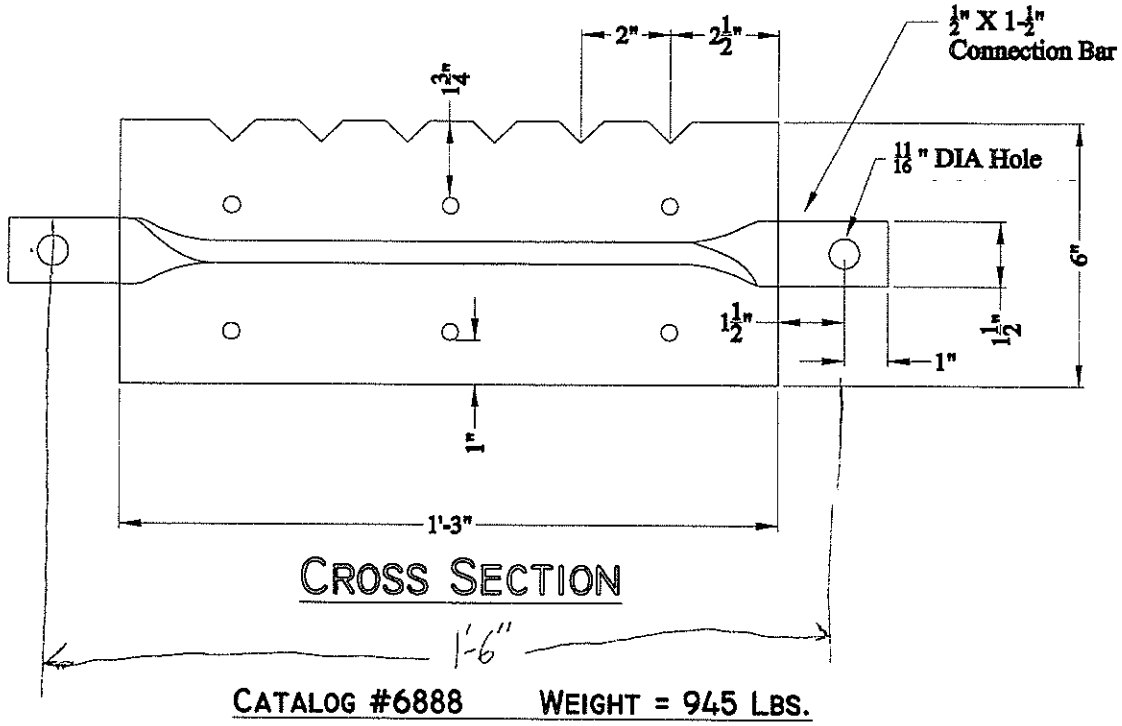
10' Boat Ramp

Catalog Section:	
Layout Name:	



PLAN VIEW

SIDE ELEVATION



CROSS SECTION

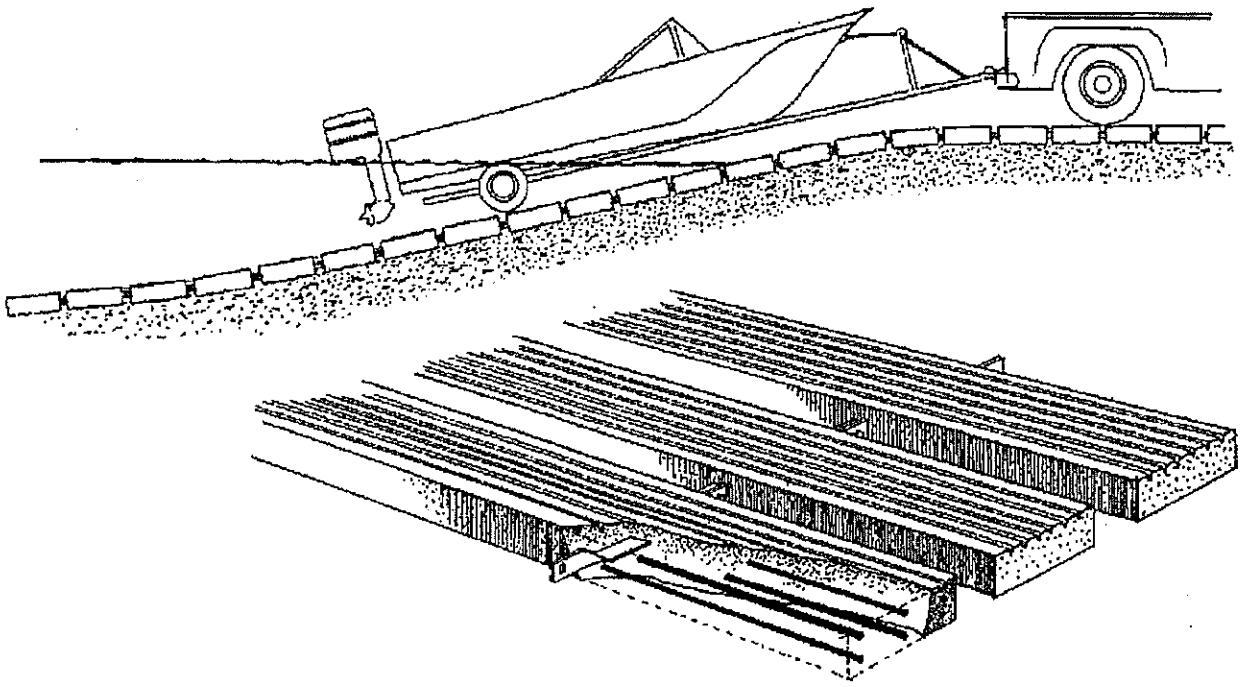
1'-6"

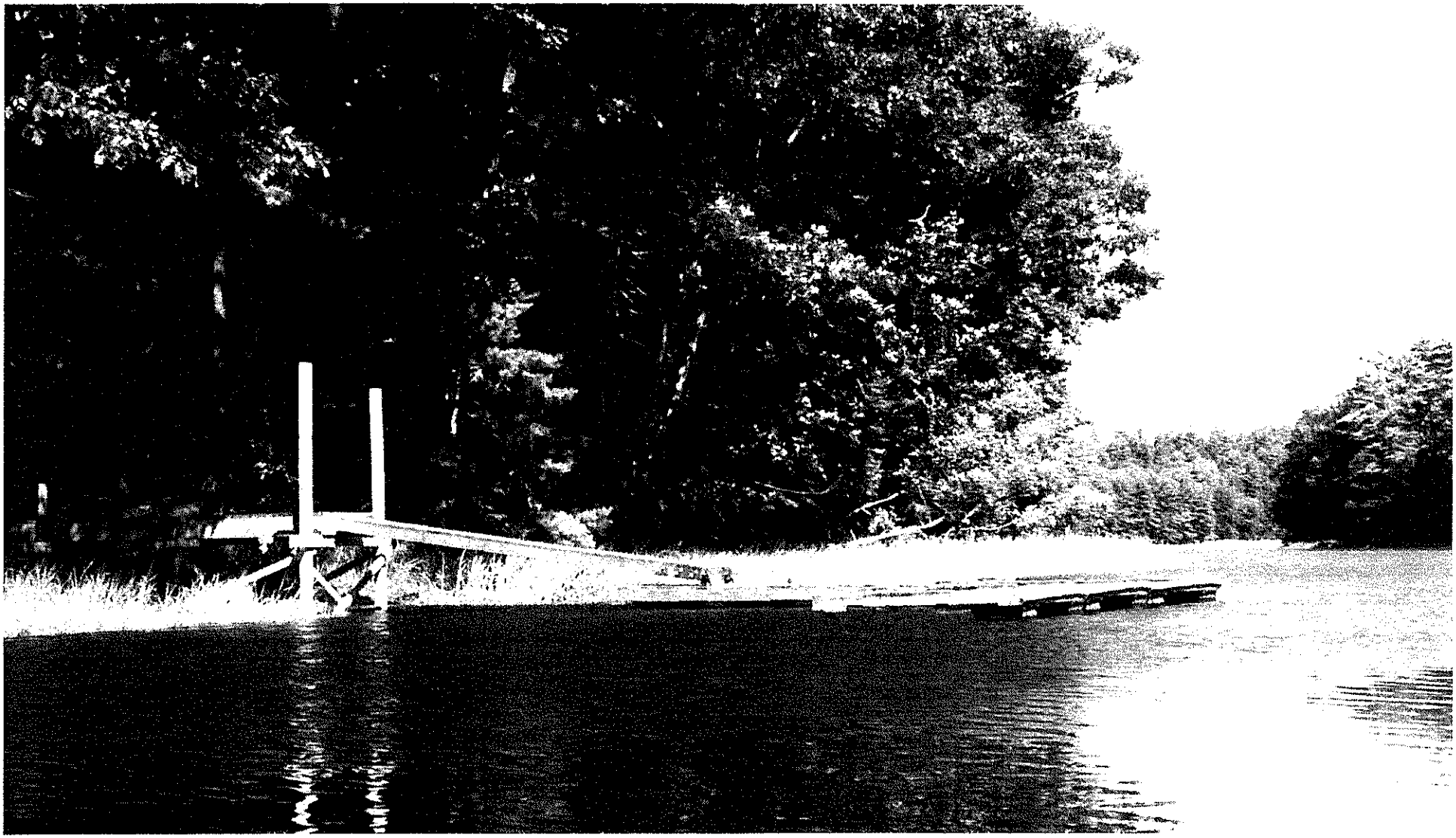
CATALOG #6888 WEIGHT = 945 LBS.

American Concrete Industries
1022 Minot Ave. Auburn, ME / 1717 Stillwater Ave., Veazie ME
Tel: 207-784-1388 / Tel: 207-947-8334

Drawing Name: 10' Boat Ramp
Latest Revision: Date :
Drawing Date: 10/29/2002

Illustrative Example Only





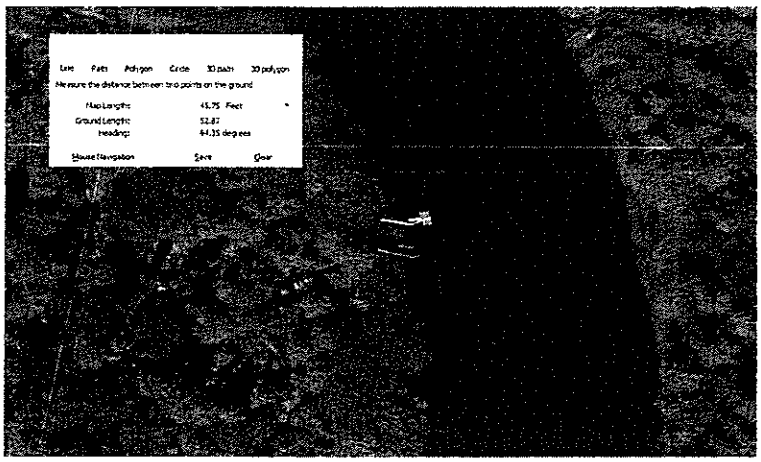
Actual photo w/ simulated 8'x22' float fully deployed

(circa 2018)

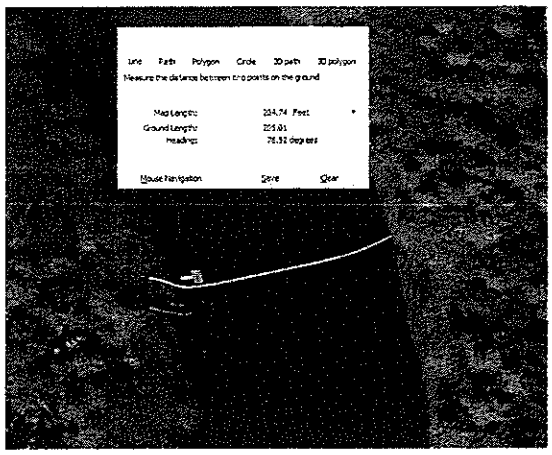
(View from South in boat

Actual Photo w/ Simulated
8'x32' float fully deployed
(Circa 2012)

(View from West North of site)



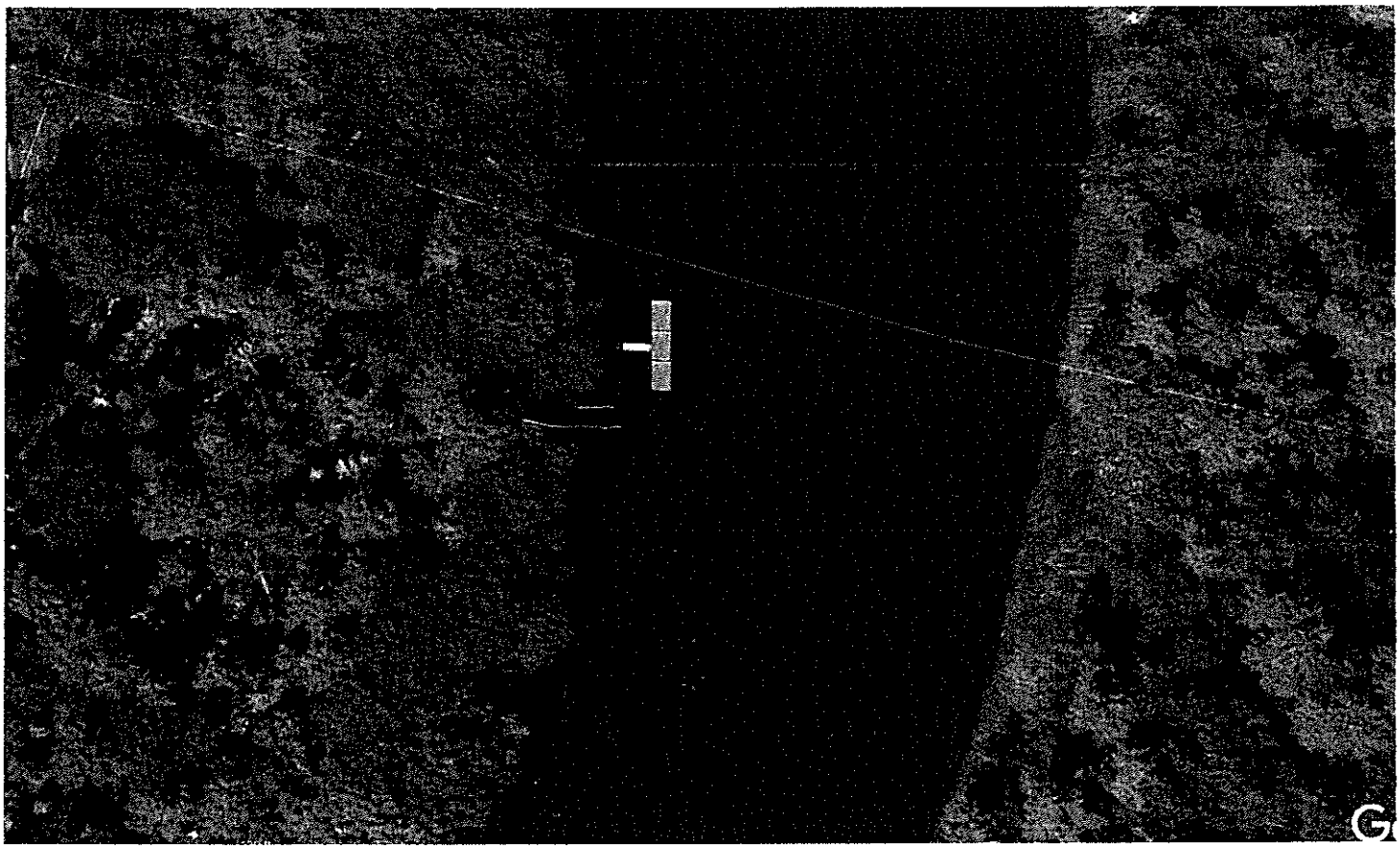
52.87 ground length
45.75 map length



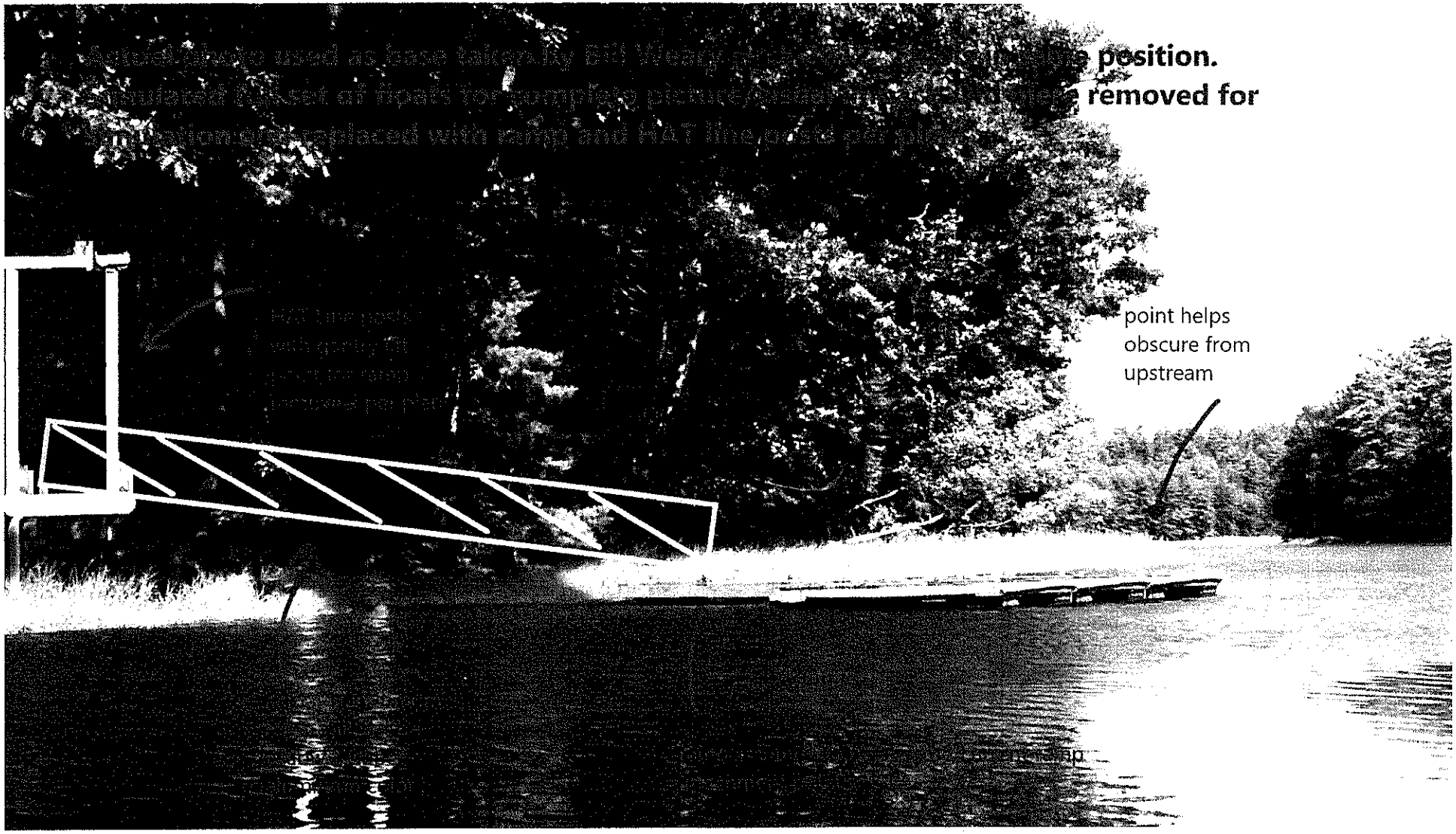
205.01' ground length
204.74' map length

Actual Comperitive Satellite images showing extension of dock into river vs width.

(Circa 2012)



Actual Satellite image showing full dock deployment (simulated float length)
(Circa 2012)



Actual photo w/ simulated Aluminum ramp + "pier" modifications. 8x22' float deployment shown.

(Circa 2012)

(View from South)